



# JASPER COMMUNITY LAND USE PLAN

JASPER NATIONAL PARK OF CANADA

*2001*

# TABLE OF CONTENTS

<b>FOREWORD</b>	5		
<b>1 INTRODUCTION AND FRAMEWORK</b>	7		
1.1 The Planning Framework	8		
1.2 Scope	8		
1.3 Context	8		
<b>2 BACKGROUND: THE COMMUNITY OF JASPER</b>	9		
2.1 Location	9		
2.2 Economy and Tourism	9		
2.3 Employment Patterns	9		
2.4 Population	9		
2.5 Setting	10		
2.6 History	10		
2.7 Land Use	12		
<b>3 COMMUNITY CHARACTER</b>	13		
3.1 Background	13		
3.2 Jasper Residents' Vision	14		
3.3 Strategic Direction	15		
3.4 Key Actions	15		
<b>4 A PLACE FOR NATURE AND ENVIRONMENTAL STEWARDSHIP</b>	16		
4.1 Background	16		
4.2 Strategic Direction	16		
4.3 No Net Negative Environmental Impact	16		
Key Actions	16		
4.4 Community Infrastructure	17		
Key Actions	17		
4.5 Landscape Strategy	17		
4.5.1 Open Space	17		
Key Actions	17		
4.5.2 Urban / Wildfire Interface	18		
Key Actions	18		
4.5.3 Outdoor Lighting Management	18		
Key Actions	18		
4.5.4 Protecting Views	18		
Key Actions	18		
4.5.5 Sense of Entry to the Community	19		
Key Actions	19		
4.5.6 Landscapes Surrounding Historic Structures	19		
Key Actions	19		
4.5.7 Commercial Landscapes	20		
Key Actions	20		
4.5.8 Residential Landscapes	21		
Key Actions	21		
4.6 Wildlife	21		
Key Actions	21		
4.7 Waterways	21		
Key Actions	21		
4.8 Communication and Education	21		
Key Actions	21		
<b>5 GROWTH MANAGEMENT STRATEGY</b>	22		
5.1 Background	22		
5.2 Strategic Direction	22		
5.3 Limits to Commercial Growth	23		
Key Actions	23		
Central Business District (C1) and Commercial			
Accommodation District (C2)	23		
Storage and Services District (S Block)	23		
5.4 Rate of Growth and Allocation of New Commercial			
Floor Space	23		
Key Actions	23		
5.5 A Legislated Community Boundary	24		
Key Actions	24		
5.6 Appropriate Uses in a National Park Community	24		
Key Actions	24		
5.7 Eligible Residency Policy	24		
Key Actions	24		
<b>6 A PLACE FOR VISITORS</b>	25		
6.1 Background	25		
6.2 Strategic Direction for all Commercial Areas in Jasper	25		
6.3 Key Actions for all Commercial Areas in Jasper	25		
6.4 Central Business District (C1)	25		
Strategic Direction	25		
Key Actions	26		
6.5 Commercial Accommodation District (C2)	31		
Strategic Direction	31		
Key Actions	31		
6.6 Commercial Accommodation District (C3)-			
Existing Hotels in the Central Business District	31		
Strategic Direction	31		
Key Actions	31		
6.7 Commercial District (C4) – Gas Stations / Automobile			
Service Stations	31		
Strategic Direction	31		
Key Actions	31		
6.8 Hostel District (C5)	32		
Strategic Directions	32		
Key Actions	32		
6.9 Storage and Services District (S Block)	32		
Strategic Direction	32		
Key Actions	32		
6.10 Jasper Railway Station and Lands	33		
Key Actions	33		

Front Cover: Photograph of Jasper taken on August 27, 1998 from Signal Mountain by Jeanine Rhemtulla and Eric Higgs with a Linhof 4x5 camera and a 90mm Schneider lens. Copyright University of Alberta.

<b>7 A PLACE FOR COMMUNITY</b>	<b>34</b>	<b>9 TRANSPORTATION AND CIRCULATION</b>	<b>45</b>
7.1 Background	34	9.1 Background	45
7.2 Strategic Direction	34	9.2 The Park Road System	45
7.3 Key Actions: General	34	Strategic Direction	45
7.4 Key Actions: Upgrading the <i>Town of Jasper</i>	34	Key Actions	45
<i>Zoning Regulations</i>	34	9.3 The Community Road System	45
7.5 Single-Dwelling Residential District (R1)	35	Strategic Direction	45
and Two-Dwelling Residential District (R2)	35	Key Actions	45
Key Actions	35	9.4 Parking	46
7.6 Multi-Dwelling Residential District (R3)	35	Strategic Direction	46
Key Actions	35	Key Actions	46
7.7 Infill Residential Development	37	9.5 Pedestrian and Cycle Systems	47
Key Actions	37	Strategic Direction	47
7.8 Community and Residential Reserve Lands	41	Key Actions	47
Key Actions	41		
7.9 Mobile Home District (R4)	41	<b>10 IMPLEMENTATION</b>	<b>48</b>
Strategic Direction	41	10.1 Implementation Schedule	48
Key Actions	41	10.2 Capital Projects to be Undertaken	49
7.10 Home-Based Businesses	41	10.3 Enforcement Strategy	49
Strategic Direction	41	Key Actions	49
Key Actions	41		
7.11 Private Home Accommodation	41	<b>11 ENVIRONMENTAL ASSESSMENT REPORT</b>	<b>50</b>
Key Actions	42		
7.12 Institutional Services	42		
Key Actions	42		
<b>8 A PLACE FOR HISTORICAL AND CULTURAL SIGNIFICANCE</b>	<b>43</b>		
8.1 Background	43		
8.2 Strategic Direction	44		
Key Actions	44		



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# JASPER COMMUNITY LAND USE PLAN

## Message from the Minister

Jasper is a community of about 5000 residents located in the ecologically sensitive *Three Valley Confluence Area* of Jasper National Park of Canada, a UNESCO Rocky Mountain World Heritage Site dedicated to present and future generations for their benefit, education and enjoyment.

Jasper National Park of Canada receives almost 2 million visitors every year, of which the community hosts a substantial majority. Over the last 20 years, visitation to the Park has increased annually by about three percent. As a result of this growing number of visitors, the community has experienced significant commercial and residential growth resulting in development pressures that could threaten both the character of the town and the ecological integrity of the Park.

On June 26, 1998, I announced that community plans for six national park communities, including Jasper, would be completed in accordance with a number of community planning principles. These principles are designed to ensure the maintenance of ecological integrity in Canada's national parks, and have been applied in the *Jasper Community Land Use Plan* as follows:

### *No-Net-Negative Environmental Impact*

- The *Jasper Community Land Use Plan* addresses the principle of *No-Net-Negative Environmental Impact* through a number of actions:
  - The area of the community will be reduced by 20% from 310 to 245 hectares;
  - Eleven lots currently zoned commercial will be re-zoned to non-commercial uses; and,
  - Necessary infrastructure must be in place before additional commercial growth will occur. In particular, the new sewage treatment plant must be functioning before new commercial development will be permitted.

- In addition, the Plan includes a landscape strategy that will ensure the urban forest is replenished with native species, reduce the presence of unnatural attractions to deter elk and other wildlife from entering the community, reclaim the riparian habitat associated with Cabin Creek, and continue to reduce herbicide, pesticide and fertilizer use through an integrated pest management strategy.
- Finally, indicators will be identified, and monitoring will be implemented to assess the community's effect on the national park.

### *Appropriate Development and Use*

- The *Jasper Community Land Use Plan* requires businesses to:
  - contribute to the Heritage Tourism Strategy;
  - support the community's national park role as a service centre for visitors;
  - not engage in value-added production of goods and services for sale outside the park.
- The *Architectural Motif Guidelines for the Town of Jasper* will be incorporated into the *Town of Jasper Zoning Regulations* to ensure that future development respects the community's unique character.

### *Responsible Growth Management*

- The *Jasper Community Land Use Plan* limits future commercial growth to 9291m<sup>2</sup>. An allotment of 1700m<sup>2</sup> will be disbursed annually until the 9291m<sup>2</sup> is exhausted, after which no further commercial expansion will be permitted.
- All staff accommodation and parking requirements will need to be in place prior to occupancy of new commercial floor space.

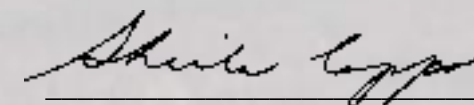
### *Leadership in Environmental Stewardship and Heritage Conservation*

- Conservation plans, including strategies for recycling, energy efficiency, water conservation and waste management, will be a requirement of all development projects.
- Recycling, composting and other related community-based programs will be expanded wherever possible.
- Incentives to encourage long-term conservation of heritage buildings will be implemented.
- The community of Jasper will be a centre for visitors and residents to learn more about Jasper National Park of Canada and Canada's system of protected areas.

Public involvement has been a key element in developing this community plan. In addition to the role elected representatives of the Jasper Town Committee played, residents of Jasper and Canadians at large were provided numerous opportunities to participate in the process. As a result, the *Jasper Community Land Use Plan* reflects the commitment Canadians have made time and again to ensure that their national parks remain unimpaired for future generations.

I am pleased to approve the *Jasper Community Land Use Plan*, confident that it will substantially contribute to the maintenance of community character and the ecological integrity of Jasper National Park of Canada, and make Jasper a community where sustainable approaches to development are demonstrated.

Approved by:



The Honourable Sheila Copps  
Minister of Canadian Heritage



# FOREWORD

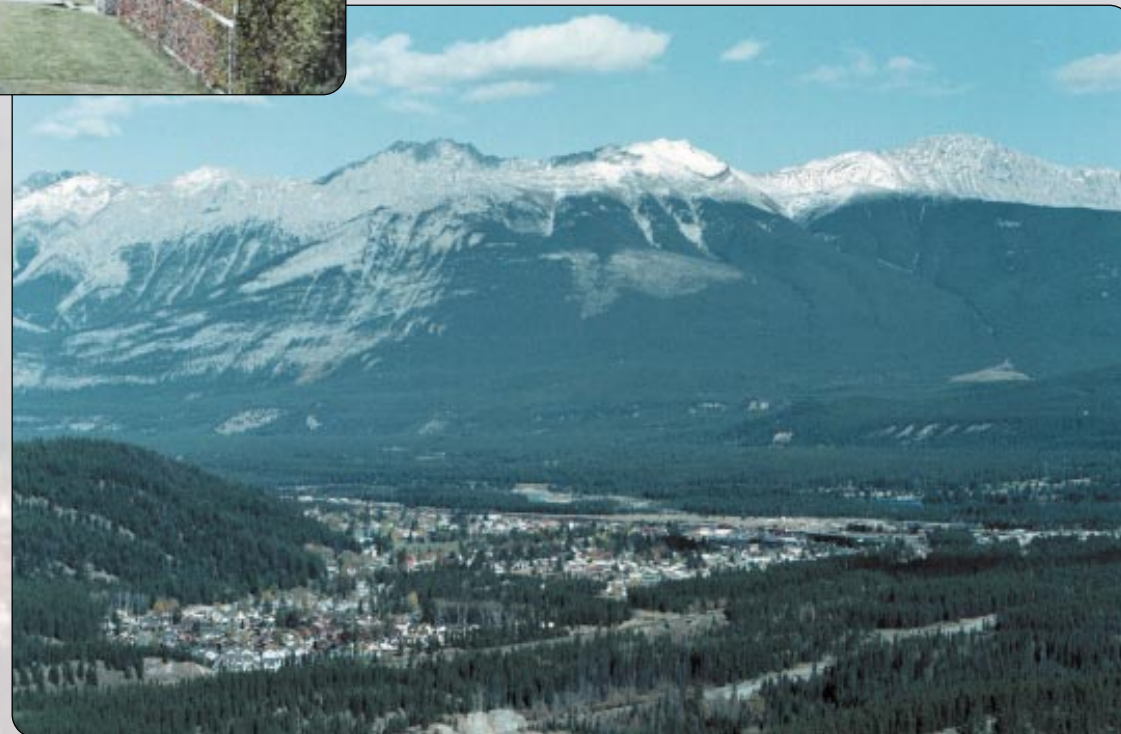
## The Role of a Community Plan

The *Jasper Community Land Use Plan* contains comprehensive policies and planning actions designed to guide future development and land use. The purpose of this plan is to ensure that both the ecological integrity of the Park and the small-town character of the community are maintained.



## Need for this Plan

In the 13 years since the approval of the *Jasper Town Plan*, information related to the impact of the community on the outlying areas of the Park has dramatically increased. We now know that the community of Jasper is surrounded by key wildlife movement corridors that are required for large carnivores, such as grizzly bear, and herbivores, such as elk and deer, to access both sides of the Athabasca Valley. Given the importance of these wildlife movement corridors to the long-term health of the park, and the impact human activities have on their effectiveness, Parks Canada determined that the 1988 *Jasper Town Plan* could have a negative impact on the Park. To address these concerns, and to ensure the preservation of the small town character of the community, a new plan designed to establish prescribed limits to growth and reduce the town boundary has been prepared. This plan will also assist the community in responding to local issues such as housing and infrastructure.



## Public Input

Parks Canada policy requires that all Canadians be permitted the opportunity to contribute their knowledge, expertise and suggestions during the preparation and review of national park management plans, including community plans.

During the preparation of the *Jasper Community Land Use Plan*, elected officials from the Jasper Town Committee sat as working members of the Jasper Community Plan Working Group. Six public meetings were held in Jasper, and one each in Edmonton and Calgary, to allow residents and interested Canadians the opportunity to review and comment on plan proposals. In addition, two newsletters detailing planning principles and proposals, and a draft version of the community plan, were distributed through a national mailing list and posted on the Jasper National Park of Canada Internet site.

While every comment is not reflected in this plan, all were considered and contributed to identifying relevant issues before final decisions were made. A summary of the public comments received during the preparation of this plan is available in a separate document.

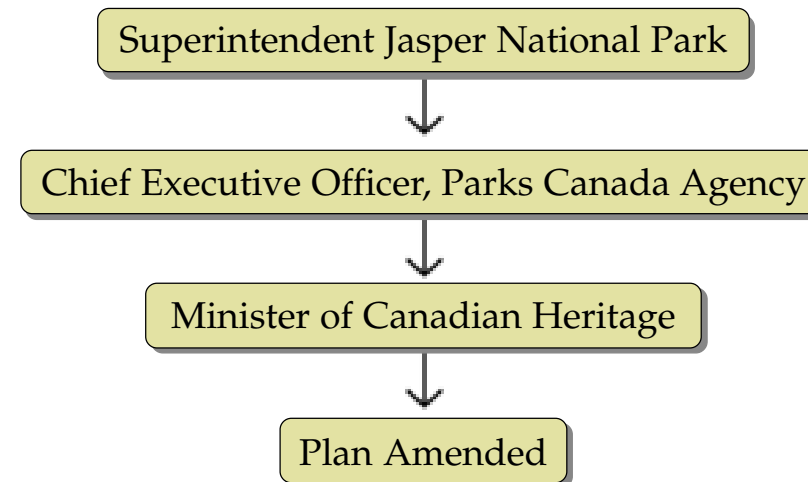


## National Parks Policy and Legislation

The *Canada National Parks Act* and Parks Canada's *Guiding Principles and Operational Policies* define the primary objectives and direction for the management of national parks in Canada. Park management plans and community plans must be consistent with these guiding documents.



## Process for Amendments to the Plan



The Field Unit Superintendent of Jasper National Park of Canada is responsible for initiating any amendments to the *Jasper Community Land Use Plan*. All changes must then be approved by the Chief Executive Officer, Parks Canada Agency and the Minister of Canadian Heritage before they are brought into effect.

Once established, the community boundary, limits to commercial growth, and the commercial areas of the community will require an *Act of Parliament* to be amended.

Amendments to the *Jasper Community Land Use Plan* will be subject to public review consistent with Parks Canada policy.

## Time Frame, Review and Enforcement of Plan

Although the *Jasper Community Land Use Plan* will undergo a minor review in five years, and a major review in ten years, the Superintendent may consider requests to amend the plan at any time.

The *Town of Jasper Zoning Regulations* will be amended to permit implementation and enforcement of this plan.

The Superintendent will prepare for public review an annual report on the implementation of the various elements of the *Jasper Community Land Use Plan*.

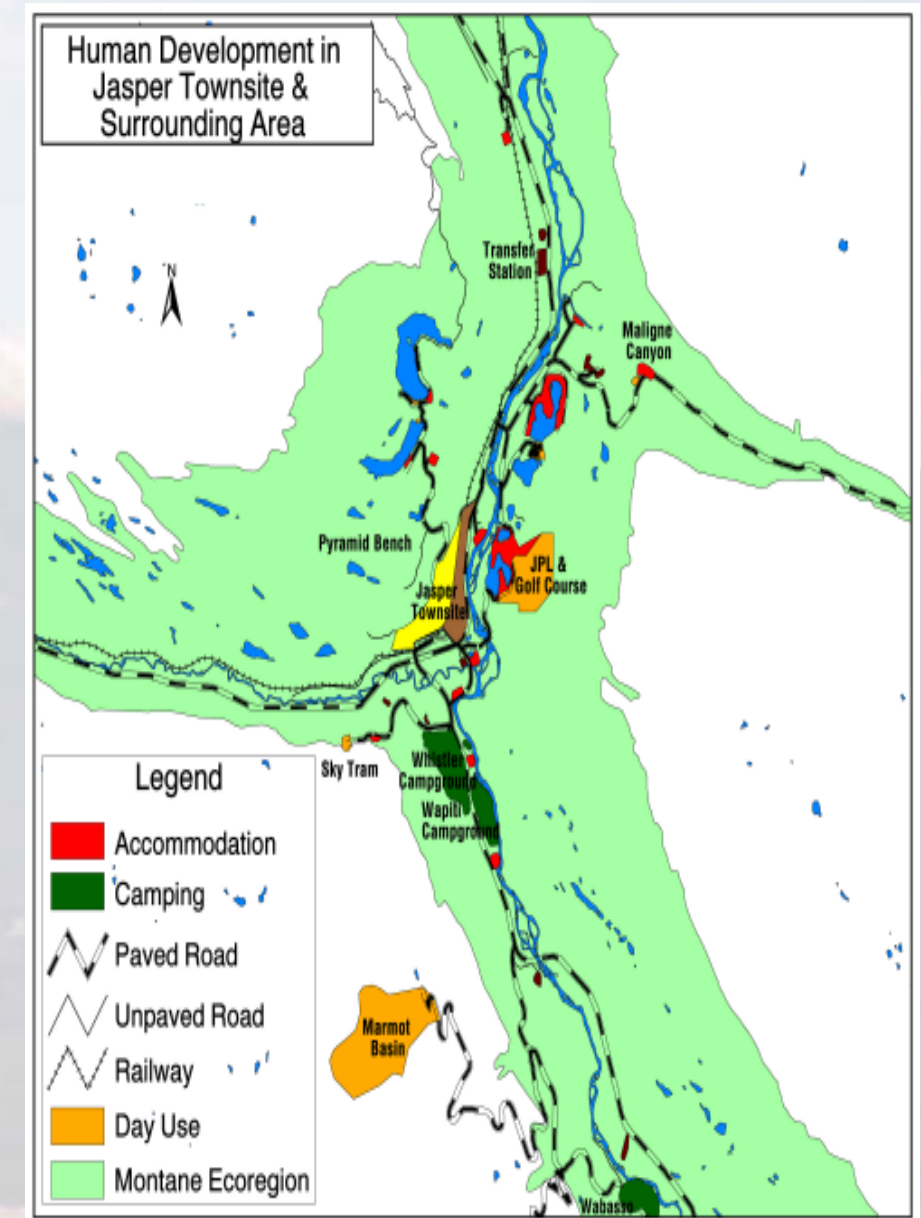
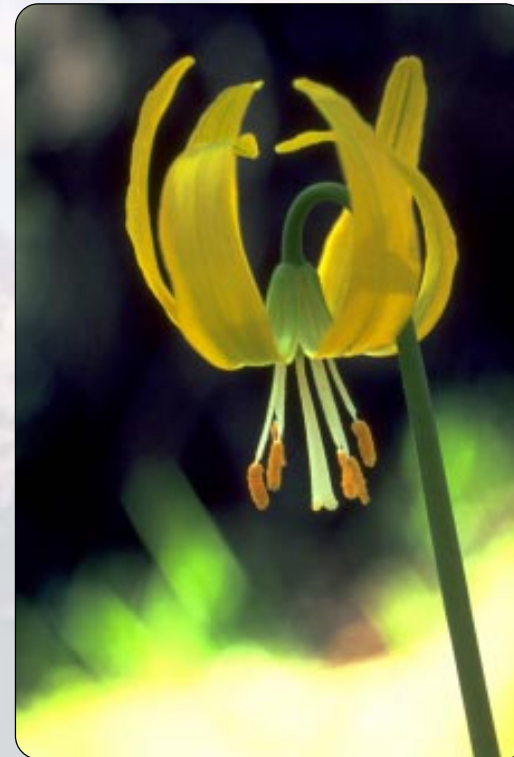


# 1 INTRODUCTION AND FRAMEWORK

Jasper is a community of approximately 5000 people nestled in the beautiful Rocky Mountains of Jasper National Park of Canada, a World Heritage Site. Designated a national park in 1907, Jasper originally served as a railroad divisional point. Today, tourism is the primary industry, attracting nearly two million visitors annually.

Jasper's primary function is as a service centre for park visitors. It also provides homes for the residents and seasonal staff employed in the park. Although tourism and related activities provide the majority of jobs in Jasper, the railroad and Parks Canada are still an important part of the community.

Jasper offers opportunities to its residents not otherwise available in similar-sized communities. Since Jasper is uniquely located in a national park, residents are able to take advantage of the numerous activities that attract park visitors from all over the world. A full range of residential support services, such as schools, hospitals and social agencies, ensure the community is a safe and supportive place.



THE THREE VALLEY CONFLUENCE AREA

The pressures of tourism on the town are great. Over the last 20 years, the number of visitors to Jasper National Park has increased annually by about three per cent. This has meant that during the summer Jasper is transformed from a small community to a busy tourist destination serving as many as 20,000 people daily. Since most Park visitors focus their activities in and around the community, there are concerns that human activity and development on park land surrounding the townsite area will create barriers to wildlife movement and endanger habitat. This level of use has also led many residents and visitors to conclude that the small-town ambiance for which Jasper is so highly valued is in jeopardy.

The challenge is to satisfy both resident and visitor needs while preserving the ecological integrity of the park and the special character of the community. Parks Canada, residents and visitors are all stewards of Jasper National Park, and must actively work together to preserve and protect the ecological integrity of the park and the important cultural elements of the community.





## 1.1 The Planning Framework

In response to this challenge, the Minister of Canadian Heritage, The Honourable Sheila Copps, announced on June 26, 1998, a series of measures designed to ensure commercial development in national parks is consistent with legislated requirements to maintain ecological integrity. Key elements of that strategy include:

- Establishing in the *National Parks Act* boundaries for all national park communities, commercial zones and maximum commercial floor space; and,
- Incorporating the following principles in the community planning process:
  1. No-net-negative environmental impact.
  2. Appropriate use guidelines.
  3. Responsible growth management strategy.
  4. Leadership in environmental stewardship and heritage conservation.

In addition, the Minister has also directed that the community plan detail an annual growth rate to govern commercial development, set out a strategy to address eligible residency and that shortfalls in housing be met by the year 2005. In March, 2000, the Minister further directed that the *Jasper Community Land Use Plan* should also be consistent with recommendations of the Panel on Ecological Integrity to the extent that ecological integrity must be the primary consideration in all development decisions.

## 1.2 Scope

The *Jasper Community Land Use Plan* will address issues within the geographical area defined by the community boundary. Commercial properties and hostels outside of the community are considered in the *Redevelopment Guidelines for Outlying Commercial Accommodations and Hostels in the Rocky Mountain National Parks*. Final decisions regarding these facilities are reflected in the *Jasper National Park of Canada Management Plan*.

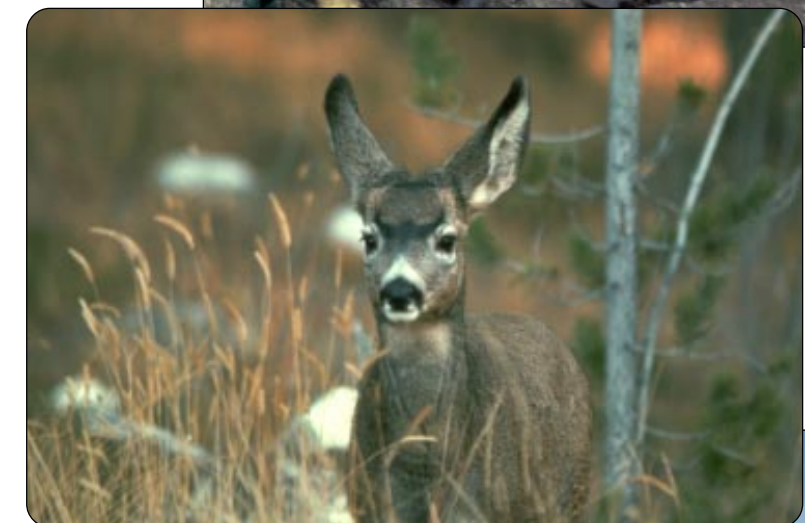
The community plan does not address development outside of Jasper, but the cumulative effects of businesses operating outside of the community in the park have been taken into consideration.

In this plan, the Town of Jasper refers to the locally elected government body.

## 1.3 Context

A community plan is not an isolated document. In addition to public consultation undertaken to prepare this plan, numerous studies and other documents have also informed the planning process. These include:

- *Jasper Town Plan* (1988)
- *Jasper National Park of Canada Management Plan* (2000)
- *Jasper Housing Study* (1991)
- *Central Business District Parking Study* (1991)
- *Built Heritage Resource Description and Analysis* (1992)
- *Discussion and Information Papers for the Preparation of a Built Heritage Resource Conservation Plan* (1992)
- *Housing Area Evaluation Study* (1993)
- *Built Heritage Resource Conservation Plan* (1993)
- *Architectural Motif Guidelines for the Town of Jasper and amendments* (1997)
- *Parks Canada Guiding Principles and Operational Policies* (1994)
- *Jasper Commercial Study* (1994)
- *Jasper Townsite Landscape Plan* (1994)
- *Jasper Townsite Transportation Study* (1994)
- *Jasper Improvement District Census* (1997)
- *The Jasper Vision Statement* (1998)
- *The Economic Impact Analysis of Visitor Expenditures in Jasper National Park* (1998)
- *The Bear/Human Conflicts Management Plan* (1998)
- *Community Action Plan for Elk Management in Jasper National Park* (1999)
- *Condition Assessment of Jasper Municipal Infrastructure* (1999)

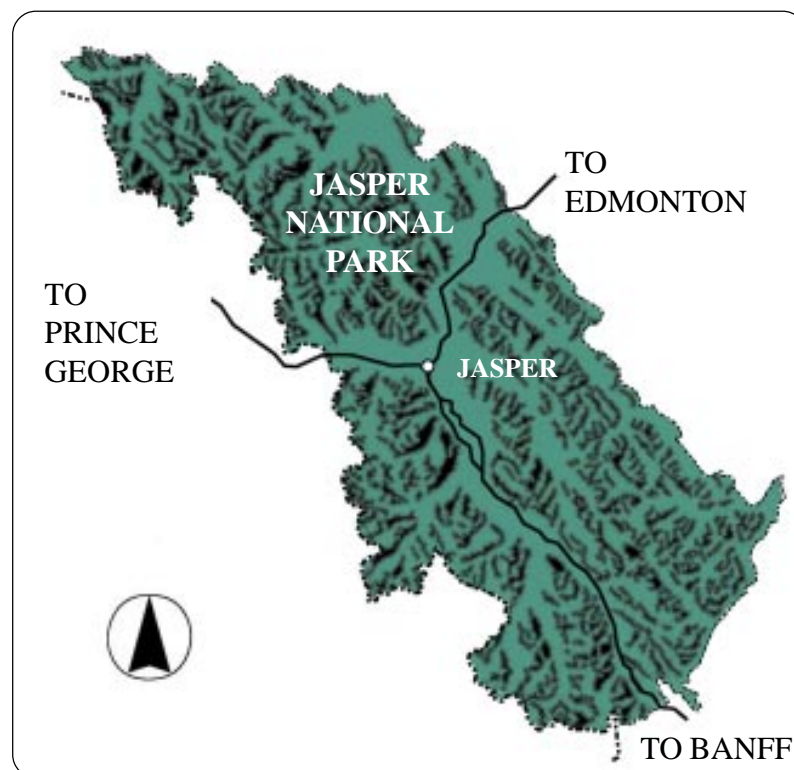


## 2 BACKGROUND: THE COMMUNITY OF JASPER

The primary role for Jasper is as a service centre for visitors to the national park. In addition, the community serves as the administrative centre for Parks Canada's operations in Jasper, and as a divisional point for Canadian National Railways. The community is also a home for park residents.

### 2.1 Location

Jasper is located in the centre of Jasper National Park of Canada, 362 kilometres west of Edmonton and 25 kilometres east of the British Columbia border. The Yellowhead Highway (Highway 16), the Icefields Parkway (Highway 93) and the Canadian National Railway provide access to the community.



### 2.2 Economy & Tourism

Jasper National Park of Canada is a four-season tourism destination and hosts approximately two million visitors annually. It is estimated that two thirds of these visitors spend some time in the community. Most visitors arrive between June and the end of September, but winter and shoulder season use is increasing.

While approximately 54 per cent of park visitors are from Canada, with a large proportion from Alberta, the number of international visitors to Jasper is growing. Visitation to the Park results in about \$226 million in direct visitor expenditures, and 5600 person-years of employment in Alberta.<sup>1</sup>

<sup>1</sup> *Economic Impact Analysis of Visitor Expenditure in Jasper National Park in 1998*, Alberta Economic Development, January 1999.

### 2.3 Employment Patterns

Typical of most seasonal tourism-based economies, employment in Jasper swells in the summer with peak visitation and declines toward the late fall. Combined, the accommodation and food and beverage sectors generate 40 per cent of employment in the community. The Canadian National Railway and the transportation sector were once major community employers, but today account for 12 per cent of total employment. Public sector employment amounts to 10 per cent, as does the retail services sector. A significant 28 per cent of employed people in Jasper work in the construction, finance and personal services sectors.

### 2.4 Population

The 1997 Municipal Census established the population of Jasper at 4691. Characteristic of tourist communities that host large numbers of young employees, 25 per cent of Jasper residents are between the ages of 19 and 24 years. Another 38 per cent of the population is between the ages of 25 and 44 years, while 5.4 per cent of Jasper residents identified themselves as 65 years old or older. Given the nature of the seasonal economy, the population of Jasper is reasonably stable, with approximately 66 per cent of

## 2.5 Setting



The community of Jasper is located in the ecologically important *Three Valley Confluence Area* of Jasper National Park of Canada. Three major rivers, the Athabasca, Miette and Maligne, flow near the town, which is surrounded by coniferous forests, mountain lakes and the Colin, Maligne and Victoria Cross Mountain Ranges. The view down the Athabasca Valley is one of the many spectacular vistas for which Jasper has become world renowned.

*The Three Valley Confluence Area* comprises the majority of the ecologically critical montane eco-region of the Park. The location of Jasper and outlying facilities, highways and the rail line all combine to undermine the effectiveness of this habitat for many wildlife species. Managing growth, ensuring use and development are appropriate to a national park setting, and employing exemplary stewardship practices are equally critical to maintaining the ecological integrity of both the *Three Valley Confluence Area* and the entire Park.

## 2.6 History

Human history in the Athabasca Valley dates back at least 9,000 years. Early use of the land was by First Nations people, who hunted, fished and gathered plants for food, and quarried stone for tools. These land use patterns remained constant for thousands of years until the arrival of Europeans, whose early fur trade and exploration routes through the Rocky Mountains passed the location of the present-day community.

It was not until the federal government approved plans for a trans-continental railway, and established the Jasper Forest Park in 1907, that the need for a town was identified. In 1910, the Grand Trunk Pacific Railway established a station and divisional point on a low plateau in the angle formed by the Miette and Athabasca Rivers. The community that formed around the railway was named Fitzhugh, after a vice-president of the company.



From the beginning, Park officials managed the community. Early architectural efforts focused on achieving harmony between the surrounding natural environment and man-made structures. To accomplish this, local building materials, such as stone and wood, were used in the construction of houses, garages, chimneys and fences.

By 1913 the townsite was beginning to shed its frontier appearance. Fitzhugh was renamed Jasper, after Jasper Hawes, a clerk stationed in the Jasper House fur trading post. Today's Information Centre, located in Athabasca Park, was built as a combined office and residence for the Park Superintendent. By the end of 1914, there were approximately 125 people living in the townsite. A total of 46 lots had been leased and several stores, a school, two churches, and a number of houses had been constructed.



In the early 1920s the community entered a period of intense growth caused by the amalgamation of the Grand Trunk Pacific and Canadian Northern railways. The population of Jasper tripled with the addition of 350 new residents from the former Canadian Northern Railway station at Lucerne, British Columbia, which was closed as part of the merger. In addition, the railway brought more tourists to the park. These developments created a need for additional housing and commercial outlets. During the 1920s and 1930s, a number of hotels were constructed, including the Athabasca and Astoria, as were the Imperial Bank building, the original Royal Canadian Mounted Police detachment, the Church of St. Mary and St. George, and the Otto Brothers' pool hall. Other construction during this period included the new Park Superintendent residence and a new fire hall.

With improvements to the Yellowhead Highway, tourism in Jasper became more accessible and less dependent upon the railway. By 1937 a gravel road extended from Jasper to Edmonton and a year later this road stretched to Winnipeg. The Icefields Parkway, connecting Jasper and Banff National Parks, opened in 1940. Jasper soon evolved into a major tourist destination with a wide range of tourist related services, including hotels, motels and restaurants.

New motel sites were surveyed in 1965 resulting in the creation of the Tonquin Motel and the Lobstick Motor Lodge, and later, the Jasper Inn and Marmot Lodge. Connaught Drive was widened by 1969.

In 1970, the townsite was extended north on the west side of Connaught Drive, providing a site for a new staff accommodation development, originally known as Fort Point Lodge and later renamed Cavell Court.

Faced with a continuing demand for housing sites, a policy encouraging the construction of higher density housing was adopted, leading to a "garden home" development in Cabin Creek East. An 89 site mobile home park was approved in 1973 to help relieve a housing shortage.

Residential growth was accompanied by an increase in institutional development. In 1974, Seton General Hospital was built, replacing the existing medical facility. The Jasper Activity Centre opened in 1977 providing the community with recreational and meeting facilities. A new seniors lodge, Pine Grove Manor, was built in 1981.



The Cabin Creek West subdivision was developed in the early 1980s. Ninety-one single family and duplex lots were serviced and leased. During the late 1980s, more lots were released in Cabin Creek West, and in 1990 the Stone Mountain Village townhouse project was built.



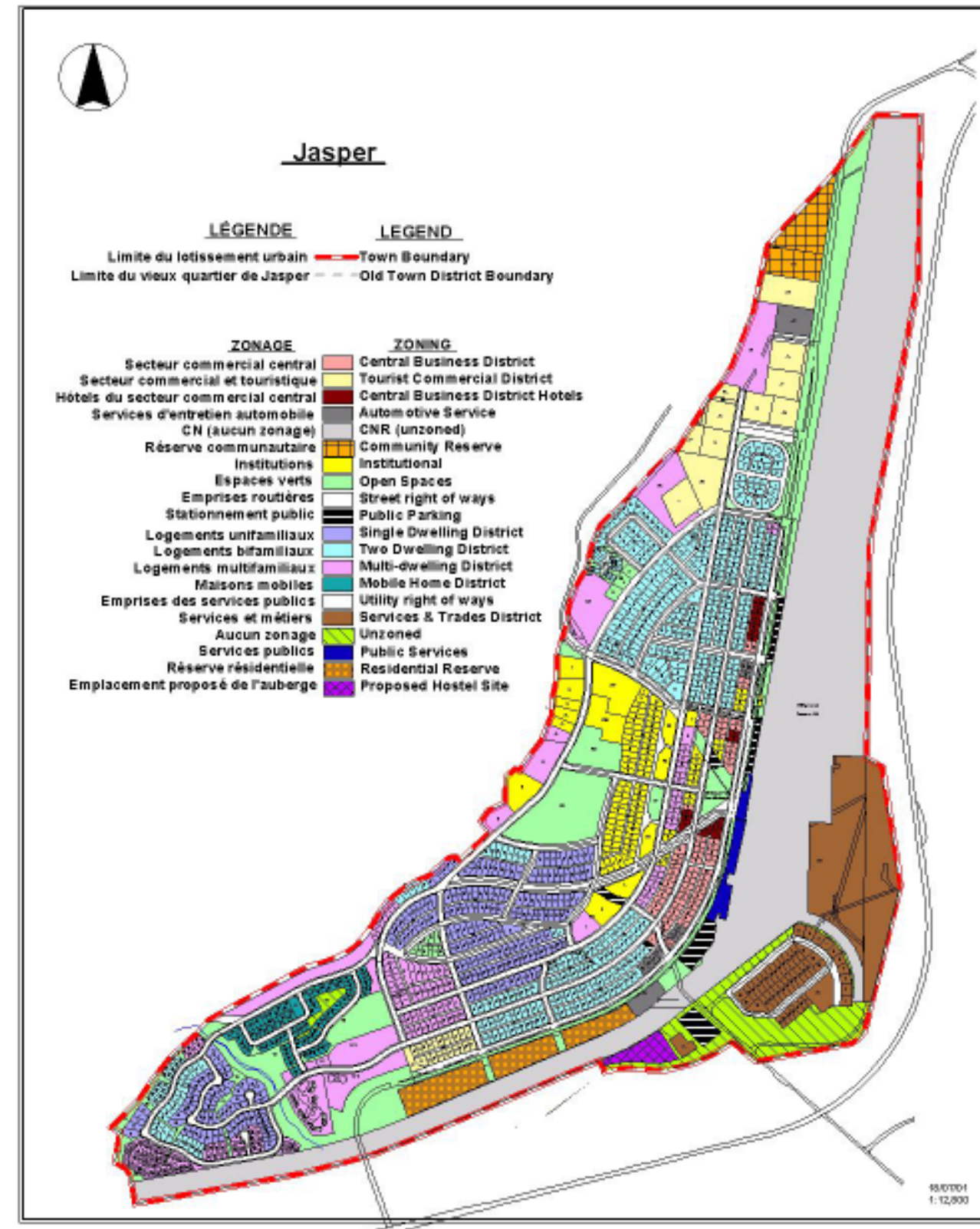
In the early 1990s Parks Canada responded to concerns about long term affordable housing in the community by releasing land at below market value to a non-profit cooperative housing association. Southview Housing Cooperative built forty townhouse units in 1995, and this successful model was continued with the construction of the Mountain Park Co-op in 1998.



## 2.7 Land Use

Jasper has significantly more land devoted to transportation, accommodation and retail use than other similar sized communities. This is understandable given its role as the service centre for the park and its historical role as a railway divisional point. The majority of residential land is zoned for duplexes or greater densities.

The rail yard represents the largest single land use in the community. Its location on the east side of Connaught Drive, combined with the absence of dense development, allows views of the Athabasca Valley that contribute significantly to the community's character.



# 3 COMMUNITY CHARACTER

## 3.1 Background



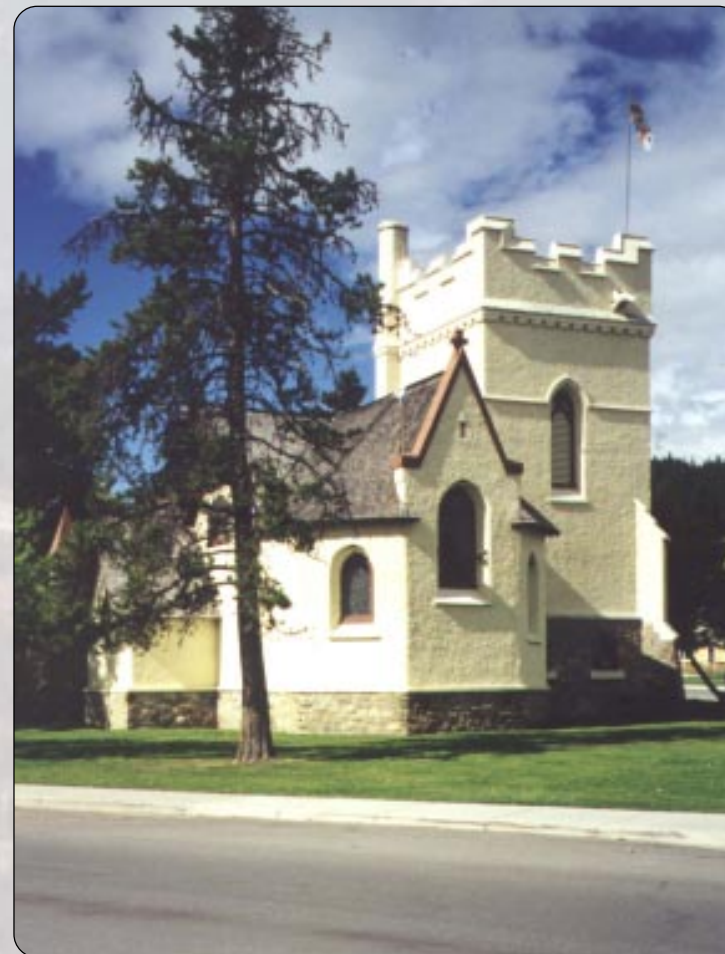
Community character is the product of a multitude of factors that are often difficult to measure. It may be defined as location, settlement patterns, architectural styles, types of economic activity, mix of land uses and open spaces, and the populations' diversity and the activities they engage in.

Vital to the process of maintaining and cultivating community character is understanding what values to protect. Once the key elements of community character are identified, strategies to preserve these important characteristics can be implemented.

Residents and visitors to Jasper have long recognized that the community possesses a distinct character, which is drawn from the town's natural setting and its significant history. Chief amongst the distinguishing characteristics of the community is its architectural heritage. Important historic structures, such as the Park Information Building, were purposefully designed to function as landmarks and architectural benchmarks for the community.

The historic architecture of the community is characterized by the use of:

- log, stone, wood shingles and stucco;
- field-stone set in mortar for steps, walls, and chimneys;
- simple steep-pitched roof forms;
- gable and shed dormers;
- imitation half-timber stucco treatment for exterior walls, especially gable ends and second storey walls of commercial buildings;
- double-hung windows, often with smaller panes grouped over a larger lower pane; and
- exposed rafter ends.



Commercial buildings, both historical and contemporary, are rarely more than two stories high. This permits views from the commercial core to the surrounding mountains and down the Athabasca Valley. Residential buildings include small one-storey historic homes, large modern duplexes and townhouses, and three-storey walk-up apartment buildings. With the implementation of the *Architectural Motif Guidelines for the Town of Jasper*, new buildings of a higher design quality are being constructed that are more consistent with Jasper's identity as a Rocky Mountain national park community.

Complementing the community's architectural heritage are its open streetscapes, a product of the low-scale nature of the community's building design. The street layout is a modified grid typical of most railway communities, yet altered to follow the rail line and the escarpment. In the commercial core a pleasant pedestrian environment has been created through the streetscape program that introduced new sidewalk pavers, trees and grates, raised planters, bike racks and benches.



As well as its open streetscapes, Jasper has a significant amount of open space. These areas are generally used for recreation and community events; they also permit views of the surrounding landscape and create a feeling of openness. Winding through these open spaces into the surrounding residential areas is a mature forest. Consisting largely of lodgepole pine, white spruce, aspen and open grassland, this forest contributes to a blending of the urban environment with the surrounding park.

Residents and visitors also contribute to community character. Many residents are involved in volunteer work, service organizations, and a wide range of recreational, cultural and educational activities. Young families contribute to a strong social fabric. Seniors organizations ensure a vital role for retired residents in the community. Outdoor pursuits are a primary leisure activity for many residents, young and old. Adding to the character of Jasper is the influx of tourists from around the globe. It is common to hear foreign languages spoken in the streets.



**3.2 Jasper Residents' Vision**

Through a community-based consultative process, the residents of Jasper articulated a vision statement that is closely aligned with the objectives of this plan. The following is the residents' vision for their community:

"Jasper is a small, friendly community with a unifying sense of purpose, set in the natural splendor of Jasper National Park. Residents value and promote quality services, controlled growth, affordability, equitable taxation, eligible residency and environmental integrity.

Jasper is represented by locally-elected, accountable residents administering a form of municipal government designed and accepted by the community and Parks Canada. Planning and decision making are characterized by a high degree of local participation which respects both community and National Park values and authorities.

Development within the community demonstrates a local commitment to plan, control and balance growth. Community values emphasize the appreciation and preservation of Jasper's history and traditional architectural scale and character.

Municipal taxes and land rent are fair and equitable and are established by processes acceptable to the community. Combined municipal taxes and land rent costs are affordable and comparable to costs in similar sized communities. Municipal costs are equitably distributed among visitors, Parks Canada and the community.

Jasper is a leader in sound environmental practices. Residents and visitors respect the inherent value of Jasper National Park and accept and honour their environmental responsibilities.

Jasper offers accessible services, affordable housing and a safe and supportive living environment for all residents. Seniors, families and young people are provided opportunities and encouragement to participate in the community and to remain in Jasper.

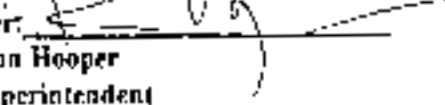
The commitment of all eligible residents is the foundation of Jasper's strong sense of community."

SIGNED THIS 9TH DAY OF JULY 1997.

JASPER TOWN COMMITTEE

Per:   
Richard Ireland  
Chairman

PARKS CANADA

Per:   
Ron Hooper  
Superintendent  
Jasper National Park



### 3.3 Strategic Direction

Jasper's unique community character is appreciated by both residents and visitors. The preservation and cultivation of this important aspect of the community will be a priority.

### 3.4 Key Actions

- The *Town of Jasper Zoning Regulations* will incorporate key provisions of the amended *Architectural Motif Guidelines for the Town of Jasper*.
- The existing street patterns will be maintained.
- The conservation of heritage buildings will be integrated into the community's planning activities.
- New development will be compatible with built heritage resources and will respect and strengthen the visual character and cultural resource integrity of both the park and the community.
- Land zoned Open Space within the community will be protected from development by refining the list of acceptable uses.
- The mature urban forest will undergo succession planting.
- The retention of informal meeting places and facilities will provide opportunities for community focused programs that contribute to the social fabric of Jasper.



# 4 A PLACE FOR NATURE AND ENVIRONMENTAL STEWARDSHIP

## 4.1 Background

The landscape of Jasper National Park is home to a rich diversity of plants and wildlife. If not managed carefully, the human presence in the ecologically sensitive montane may reduce wildlife habitat effectiveness and threaten the ecological integrity of the park.

Jasper has made significant strides towards becoming a model environmental community:

- Solid waste management has improved dramatically over the years. Garbage is collected from animal-proof containers located throughout the community and trucked from the local transfer station to the regional landfill near Hinton.
- Community composting and recycling programs are well supported by residents and commercial operators.
- A water-metering program is being introduced to encourage conservation and distribute costs equitably.
- At the initiative of Alberta Power, the Jasper Energy Efficiency Program (JEEP) reduced the community's energy consumption.

Notwithstanding these successes, the community continues to face a number of environmental issues:

- A new sewage treatment plant is required to improve the effluent discharged into the Athabasca River.
- The effects of human encroachment on wildlife movement corridors need to be addressed.
- Dangerous encounters between humans and habituated wildlife, such as elk and coyotes, need to be reduced.
- Open space and mature trees are being lost to development.

Although long-term residents are well informed about park management issues, the transient population and visitors require ongoing public education to encourage them to embrace the environmental standards established by the community. Given that the majority of visitors to the national park spend time in the community, opportunities to increase visitor awareness of the national park and the national system of protected areas are abundant.

## 4.2 Strategic Direction

Jasper will be an “eco-community” where sustainable forms of development are demonstrated. Residents, visitors and commercial operators will be given opportunities to become more aware of how their actions affect park ecology and how to achieve increased levels of environmental stewardship. Through community-based processes, the cumulative negative impacts of residential and commercial operations on the ecosystem will be mitigated through the application of the *no-net-negative environmental impact* principle, limits to growth, strengthened conservation practices and upgrading of the community's infrastructure.

Jasper's link to the park will be protected by maintaining open space, and using native plant materials in landscaping.

Visitors will learn more about the park through community-based interpretation and information programs.

## 4.3 No-Net-Negative Environmental Impact

The principle of *no-net-negative environmental impact* will be achieved by ensuring that wildlife, plants, water, air and soil qualities will be better or no worse tomorrow than they are today. Development of human facilities and services can have lasting, negative impacts on the health of national park ecosystems. The *Canada National Parks Act* promises future generations that these national treasures will remain unimpaired. Jasper will demonstrate environmentally sustainable approaches to municipal management and operation.

### Key Actions

- An environmental management program will be developed for the community, in consultation with locally elected council.
- A set of environmental stressors and indicators will be identified. Baseline data will be acquired and monitored. These indicators may include: air quality, surface water, aquatic resources, soils and terrain, vegetation, wildlife, resource consumption, noise, light, and odours. Corrective actions will be undertaken if monitoring reveals undesirable changes.
- The residents of Jasper and other interested Canadians will be involved in the development of these programs.
- Where possible, education and technology will be used to reduce negative environmental impacts.
- An annual report will summarize performance with regard to the achievement of *no-net-negative environmental impact*.

## 4.4 Community Infrastructure

ATCO Electric supplies electrical power to the community using a natural gas-fired power plant. Natural gas is supplied by ATCO Gas. Both systems are nearing capacity. Jasper's primary water supply is drawn from three wells located along the Athabasca River.

### Key Actions

- Required infrastructure must be in place before additional commercial growth will be permitted, including a new sewage treatment plant.
- A larger capacity sewage treatment plant will be built to move towards the targets for in-stream effluent release identified in the *Jasper National Park Management Plan*.
- The storm sewer system requires completion.
- Wherever possible, recycling, composting and other community-based programs will be improved and expanded.
- Ongoing monitoring will be performed to ensure garbage handling is done in compliance with regulations and guidelines. Information programs will be expanded to encourage residents, commercial operators and visitors to properly handle and store food and garbage.
- Where applicable, utility services will be fairly and equitably charged to encourage conservation.
- All new development and major redevelopment projects will be required to submit conservation plans including strategies for recycling, energy efficiency, water conservation and waste management.
- An infrastructure assessment (roads, water system, sewage treatment, sanitary sewer system, storm sewer system and street lighting) has been completed and the results will be used to develop a phased recapitalization program.

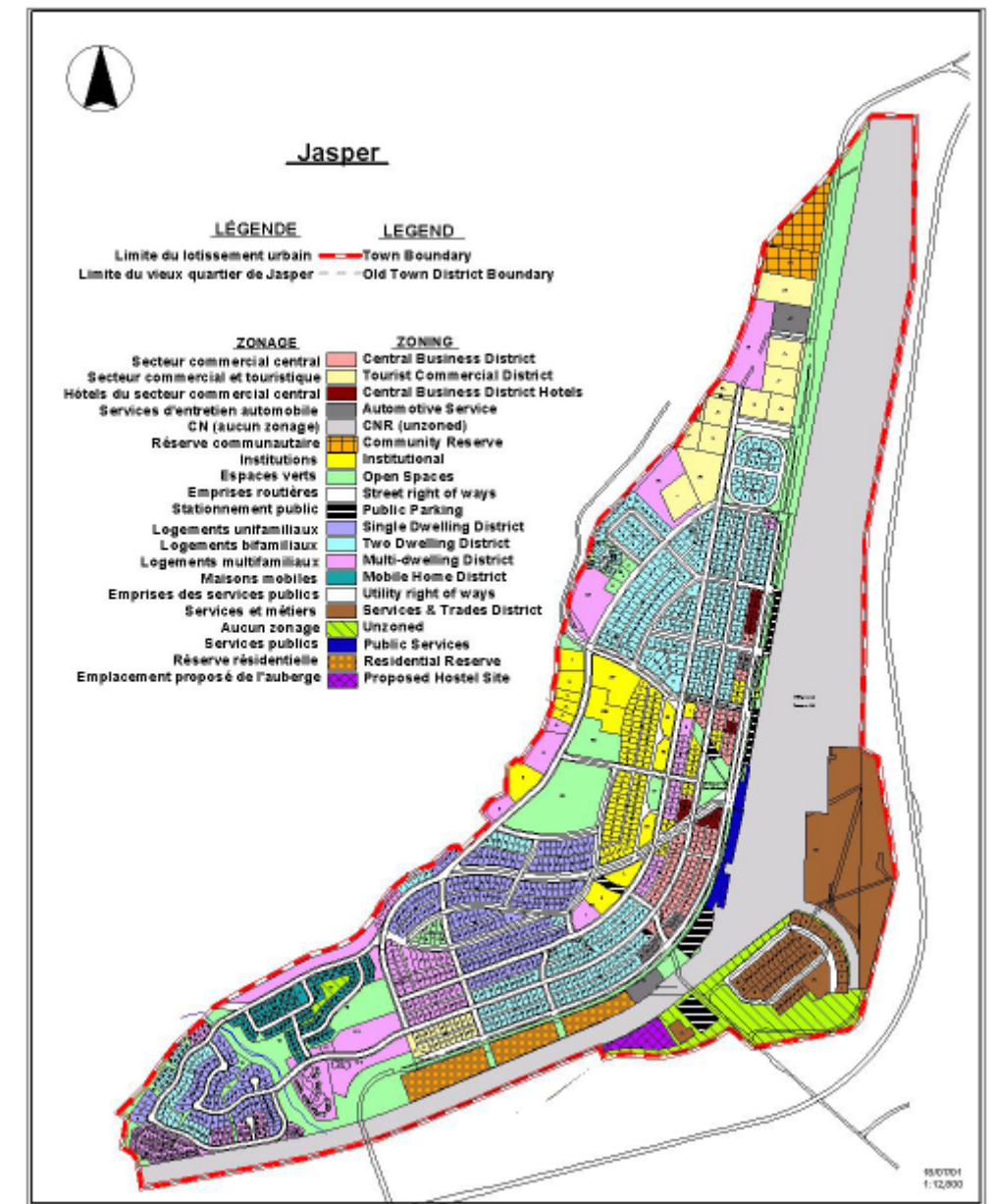
## 4.5 Landscape Strategy

### 4.5.1 Open Space

Open space in Jasper has traditionally been used for playing fields, landscaped parks, institutional facilities, parking and other community uses. Residents and visitors have expressed the desire to maintain open space as it contributes positively to the community character and quality of life.

### Key Actions

- Wildlife corridors adjacent to the community will be protected, maintained and enhanced in order to encourage wildlife to travel around rather than through the community.
- The Open Space District in the *Town of Jasper Zoning Regulations* will be amended to remove development provisions. The amended Open Space District will allow only parks, playgrounds, natural green spaces, riparian zones and accessory buildings required for maintenance of open space. A new Institutional district will be created for new and existing institutional development.
- Upgrading and alterations to sport fields will be permitted to meet the changing recreational needs of residents.
- The Open Space area contained within the Mobile Home District will be re-examined within a proposed Area Redevelopment Plan (see Section 7.9).
- Areas within the community that attract wildlife will be modified to reduce habituation. *The Community Action Plan for Elk Management*, which is the basis for these actions, will be reviewed and amended regularly to improve its effectiveness.



- Herbicide, fertilizer and pesticide use will continue to be reduced to the greatest extent possible.
- Following the recommendations of the *Jasper Townsite Landscape Plan*, a program to renew the urban forest with native species will be developed.
- Public areas requiring intensive turf maintenance will be replanted with native species.

The following parcels will be included in the Open Space zoning:

<i>Open Space</i>
R11 (Bowling Green)
R5 (Centennial Park)
R7 (North end of Robson Park)
Snapes Hill (except an area along Willow Avenue that may be considered for housing)
Cabin Creek Riparian Area
Block 39 Lot 12 (Stone Mountain Playground)
Block 40 Lot 9 and 27 and Block 41 lot 23 (Cabin Creek West walkways and playgrounds)
Block 35 Lot 3, 4 and 5 (Firemen's Park)
Block 33 (Lion's Park)

#### 4.5.2 Urban/ Wildfire Interface

Jasper is surrounded by forest and has significant stands of trees within its boundaries, placing the community at considerable risk from forest fire. This threat can be reduced by employing fire resistant building materials, by introducing landscaping practices designed to limit the spread of fire, through coordinating training between wild land and urban fire departments, and by the proper location of related infrastructure such as hydrants.

#### Key Actions

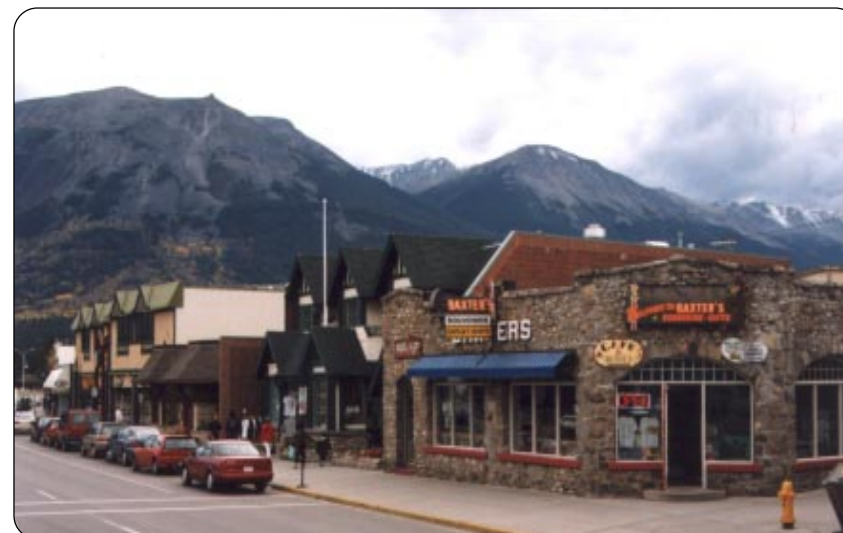
- Landscape management and building material policies, particularly regarding roofs, will be reviewed and amended as necessary to minimize risk from wildfire.
- A community-based strategy for protecting against wildfire that both restores forest structure in the *Three Valley Confluence Area* and improves public safety will be developed.

#### 4.5.3 Outdoor Lighting Management

Although an appropriate level of street lighting is essential for public safety, poorly installed outdoor lighting is energy inefficient, intrudes on adjacent properties and reduces night sky visibility.

#### Key Actions

- New development and redevelopment will be required to incorporate energy efficient lighting that reduces glare, protects neighbor's privacy and is focused downwards or properly shielded.



#### 4.5.4 Protecting Views

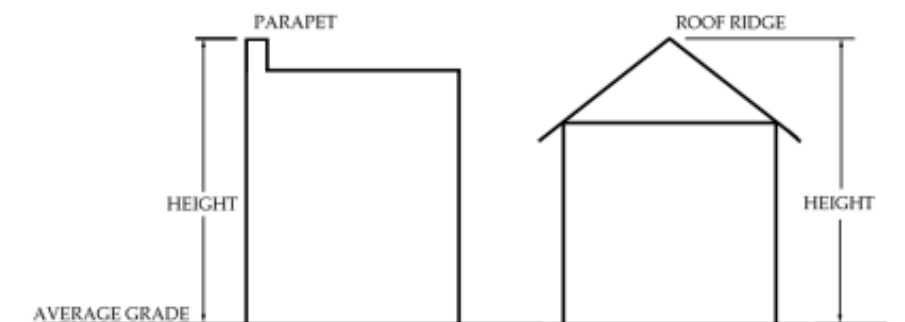
Views from within Jasper to the surrounding landscapes require protection. As well, views of Jasper from the Athabasca River valley will not be dominated by the built environment.

#### Key Actions

- Views will be protected through height restrictions for commercial and residential development. The following height limits, as measured from average grade to the peak or parapet of the main roof form, will be introduced:

<i>Zone</i>	<i>Height</i>
R1	9m
R2	9m
R3	13.7m
R2H	7.9m

<i>Zone</i>	<i>Height</i>
C1	9m
C2	10.6m
C3	height of existing buildings, May 2001
C4	9m
C5	site specific
Block S	10.6m
Institutional	to be defined



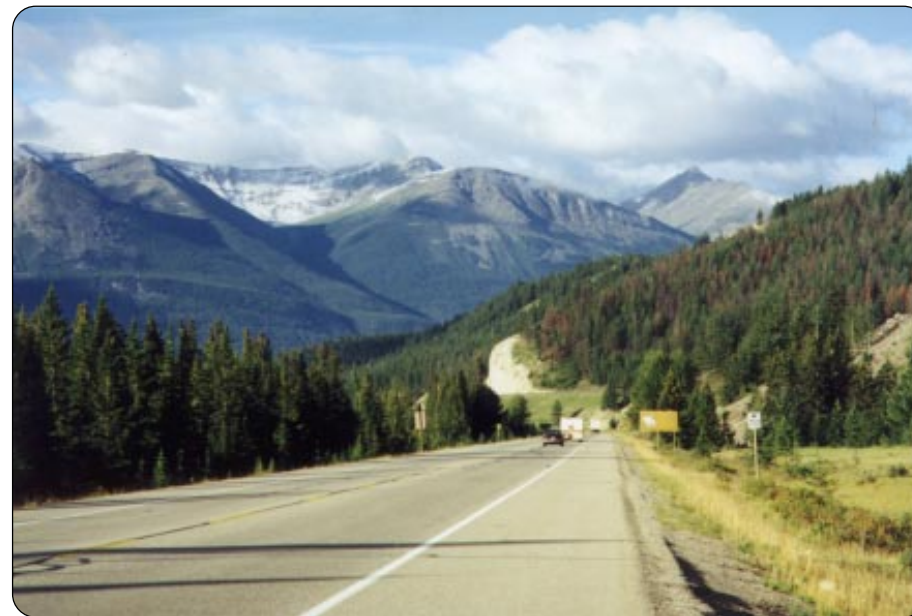
HEIGHT LIMITS

#### 4.5.5 Sense of Entry to the Community

Arrival to the community of Jasper will indicate entry to a national park community.

##### Key Actions

- The sense of entry into the community will be strengthened and enhanced by:
  - re-contouring slopes along the railway embankments to recreate more natural grades;
  - planting groups of native trees and shrubs to screen barren slopes;
  - building upon the gateway character created by railway bridges; and,
  - early and clear identification of community entrances through roadside signs and pull-offs that provide townsite related information to motorists.



#### 4.5.6 Landscapes Surrounding Historic Structures

##### Key Actions

- Visual connections between heritage buildings such as the Parks Canada Information Centre, the historic Fire Hall and the Friends of Jasper National Park Building will be maintained and enhanced. Detractions from these visual connections will be minimized.
- The setting of historic structures is key in the presentation and communication of their significance. Landscape plans for federally owned heritage structures will be based on historic research and will add to the cultural value of the buildings.
- The historic district plan for Old Town Jasper will include an assessment of the original landscape character of the area.

#### 4.5.7 Commercial Landscapes

##### Key Actions

- The vitality of the pedestrian environment in the Central Business District will be improved by:
  1. Expanding on the theme for signs, benches, bike racks, planters and tree grates, developed as part of the street works program.
  2. Interpretive and directional signs to assist both visitors and residents to learn about park and community history.
- Lane surfaces will be upgraded to encourage pedestrian use and improve drainage.
- Improved landscaping standards will be developed for S Block and the C2 areas.





#### 4.5.8 Residential Landscapes

##### Key Actions

- The use of native plants will be encouraged. Information brochures will be developed to increase awareness and to encourage residents to begin the transition toward landscaping with native species.
- Initiatives to minimize the use of herbicides and fertilizers will be pursued.
- Residential standards and styles for street signs, benches and bike racks different from those designed for the Central Business District will be developed. Additional benches will be installed in key locations.
- Fencing standards in the *Town of Jasper Zoning Regulations* will be amended to conform with the aims of the *Community Action Plan for Elk Management*. This will include revised fencing standards for Cabin Creek West.

#### 4.6 Wildlife

##### Key Actions

- The *Community Action Plan for Elk Management* and *The Bear/Human Conflicts Management Plan* will be implemented, monitored and adjusted as required.
- Communication programs aimed at avoiding wildlife conflicts will be delivered to residents, commercial operators and visitors.

#### 4.7 Waterways

##### Key Actions

- The Cabin Creek riparian zone has been degraded by residential encroachment. A 30-metre setback from Cabin Creek will be enforced, and the riparian zone reclaimed with native species.
- The Cottonwood Creek riparian zone will be protected from the effects of future development.



#### 4.8 Communication and Education

##### Key Actions

- The community of Jasper will be an “eco-community” where sustainable forms of urban development are demonstrated.
- Parks Canada will present information, interpretive and educational programs in the community of Jasper that link the park to the regional ecosystem, the national system of protected areas, and its World Heritage designation.
- Visitor access, understanding and appreciation of the community and the park will be improved through the Heritage Tourism strategy, information and interpretive services, and enhanced signage throughout the community.

# 5 GROWTH MANAGEMENT STRATEGY

## 5.1 Background

Using the standards established under the *Architectural Motif Guidelines for the Town of Jasper*, approximately 359,660 square metres (3,871,475 square feet) of additional commercial development could take place in Jasper. If the standards of the *Town of Jasper Zoning Regulations* were to be applied, 645,960 square metres (6,953,283 square feet) of additional commercial development could occur. Currently, 113,340 square metres (1,220,000 square feet) of commercial development exists in the C1, C2, and S Block Districts. Given the expressed desire of residents and visitors to maintain the community's small-town character and to limit the impacts of the town on the Park, this level of potential development is inappropriate.

## 5.2 Strategic Direction

Jasper will continue to be a good place to live and visit. Appropriate levels of commercial and community services will be maintained for eligible residents and visitors. A maximum commercial development limit will be implemented to achieve park and community objectives. By managing commercial development, the housing supply and the town's social structure will be able to better accommodate the quantity and rate of growth.

The Growth Management Strategy has four components:

- 1) limits to commercial growth;
- 2) a maximum annual rate of growth and allocation of commercial floor space;
- 3) a legislated community boundary; and
- 4) enhanced enforcement of the eligible residency policy.

Parks Canada will be responsible for ensuring that the objectives of growth management are achieved. The following criteria will be used to evaluate all proposed commercial development:

- adherence to the prescribed limits to growth and commercial allocation strategy;
- contribute to the maintenance of ecological integrity through the application of the *no-net-negative environmental impact principle*;
- compliance with appropriate use and environmental stewardship policies, architectural motif, zoning, development review criteria and other regulatory requirements;
- protection and retention of housing for community needs;
- infill of vacant commercial lots;
- sufficient community infrastructure capacity;
- protection of resident-orientated services; and,
- maintenance of heritage and desired community character.

Additional criteria may be developed in consultation with the community based on the nature and scope of the proposed project.



### 5.3 Limits to Commercial Growth

#### Key Actions

- Commercial development in C1, C2, and S Block zoning districts may expand an additional 9291 square metres (100,000 square feet). New development proposals will be evaluated using the criteria listed in Section 5.2. Specific development requirements exist for each land use district.
- Zoning amendments for commercial districts will include changes to building heights, envelopes and uses.
- Housing units and underground parking built in commercial districts are not considered to be commercial floor space.
- Commercial space lost through redevelopment will be returned to the available pool for new commercial development and redevelopment.
- The rate of growth and the allocation of commercial floor space to and within each commercial district will be re-examined five years after plan approval or through an amended plan.
- The Superintendent will prepare annual reports detailing the implementation of the growth management strategy.

#### Central Business District (C1) and Commercial Accommodation District (C2)

- Combined new development in the C1 Central Business District and the C2 Commercial Accommodation District will be limited to 6500 square metres (70,000 square feet). New development proposals will be evaluated using the criteria listed in Section 5.2. For purposes of applying Section 5.2, the relative amount of new development in each of C1/C2 will be guided by reference to maintaining a ratio of approximately 4:1 in favor of C1 development.

- The development of new commercial floor space may only occur on the ground floor. Only eligible resident accommodation will be permitted on the second floor. Below grade space may be used for storage, parking or a limited range of resident-oriented services to be identified in the zoning regulations.
- If existing commercial buildings with second floor and/or basement commercial space are redeveloped, then the original commercial floor space may be rebuilt as of the date of this plan. To the fullest extent possible the redevelopment must also conform to the motif and development requirements of the prevailing regulations. An inventory of these spaces will be undertaken at the time of plan approval.
- In the C1 District, visitor accommodation will be a “discretionary use” in new and existing commercial floor space.
- Several commercial properties in the C1 District will be rezoned to non-commercial use (see Section 6.4).

#### Storage and Services District (S Block)

- Development in the Storage and Services District (S Block) will be limited to 2787 square metres (30,000 square feet). New development proposals will be evaluated using the criteria listed in Section 5.2.
- Parks Canada will encourage the transfer of businesses currently located on CN land to the Storage and Services District. Any such transfer will not be included in the commercial floor space limit, and the vacated properties will not be available for further use.

### 5.4 Rate of Growth and Allocation of New Commercial Floor Space

#### Key Actions

Commercial floor space may be allocated for development projects that meet the criteria and direction described in Sections 5.2 and 5.3 and receive an allocation for development from the process described below:

- The annual rate of new growth will be 1.5 per cent of the existing commercial floor space in Jasper as of the date of this plan. The existing floor space is 113,340 square metres (1,220,000 square feet) which means a maximum of 1700 square metres (18,300 square feet) could be allocated per year. In any one year, the rate of growth may exceed 1.5 per cent due to development starts and allocation carryover, provided that over a five-year period the average annual growth rate does not exceed 1.5 per cent.
- The allocation of annual floor space may be reduced if community infrastructure is unable to sustain this level of growth.
- The allocation of commercial floorspace to and from each commercial district will be re-examined during the five year plan review or through an amended plan.
- Once 9300 square metres of new commercial floor space has been built, no additional commercial floor space will be approved for development in Jasper. Redevelopment of existing commercial properties will be permitted.
- Although a development may be approved, business licenses may be denied if the proposed uses are not an appropriate national park activity.
- The allocation process will be transparent and equitable. At a fixed date each year, projects will be drawn randomly, allocating up to 1700 square metres (18,300 square feet) of new commercial floor space. A selected project that exceeds the annual allotment will be automatically granted the additional required floor space at the time of the subsequent annual allotment draw. The allocation available for that same draw will be reduced by an equivalent amount.
- Proposals being submitted to the annual allocation draw must conform to submission requirements.



- All commercial development projects adding less than 45 square metres (500 square feet) of new floor space may be approved outside of the annual growth rate, but will be deducted from the total commercial floor space capacity. Only one such project will be allowed per site in any 12 month period.
- Floor space allocation is specific to the site and development proposal. Minor design changes that do not result in additional floor space may be considered.
- Projects receiving an allocation must obtain a building permit within 12 months. Floor space allocations for projects that do not receive a building permit within the allotted time period will be returned to the commercial capacity pool.

## 5.5 A Legislated Community Boundary

### Key Actions

- Jasper's boundary will be set at the present developed footprint, except for some minor adjustments to facilitate residential development opportunities.
- The Sleepy Hollow and Miette Escarpment areas identified in the 1988 *Jasper Town Plan* will not be alienated for community purposes.
- The boundary will be surveyed before being legislated through the *National Parks Act*.

## 5.6 Appropriate Uses in a National Park Community

### Key Actions

- Businesses in Jasper will work toward achieving the objectives of the *Jasper National Park Heritage Tourism Strategy*:
  1. Ensure all visitors and residents are aware they are in a national park and world heritage site by actively fostering local and visitor appreciation and understanding of the nature, history and culture of Jasper National Park and surrounding areas.
  2. Encourage, develop and promote opportunities, products and services consistent with heritage and environmental values.
  3. Encourage environmental stewardship initiatives.
  4. Strengthen employee orientation, training and accreditation programming as it relates to sharing heritage understanding with visitors.
- This plan supports the Jasper National Park Heritage Tourism Council (and any successor) and the definition of heritage tourism "as the active fostering of local and visitor appreciation and stewardship of the nature, history, and culture of Jasper National Park, the community of Jasper and surrounding areas."
- Appropriate use objectives will be achieved primarily through the application of new business licensing criteria. A community-based process will be developed to refine these criteria. New business license applications must:
  1. Meet national park, community and world heritage site objectives.
  2. Exemplify stewardship practices in their daily operations.
  3. Assist the community in serving as a centre for park visitors or provide essential services for eligible residents.
  4. Not be a specifically prohibited activity.

- Businesses serving **visitors** will be required to meet the following criteria:
  1. Assist visitors in enjoying the park.
  2. Ensure park visitors gain a greater understanding and appreciation of national park values.
  3. Must conform to permitted uses in the zoning regulations.
- Businesses serving **residents** will be required to meet the following criteria:
  1. The type, size and scope of use must be appropriate to the size of the resident population.
  2. Must conform to permitted uses in the zoning regulations.

## 5.7 Eligible Residency Policy

Residential leases in Jasper restrict occupancy to eligible residents as defined in the *National Parks Regulations*. The eligible residency provisions ensure that community lands are available exclusively for community use, rather than recreational or second home purposes.

Eligible residents are business proprietors who must be present for the daily management of their commercial operation, a person who is employed in the park, a retired person who was employed in the park for five years previous to retirement or a dependent of one of the above. Operation of a home based business or private home accommodation does not satisfy eligible residency requirements.

### Key Action

- Eligible residency will be strictly enforced to ensure that those living in Jasper have an established need to reside in the community.

## 6 A PLACE FOR VISITORS

### 6.1 Background

The commercial sector plays an important role in shaping the visitor experience. The Heritage Tourism Strategy seeks to further enhance this role through the communication of appropriate messages, the interpretation of community and park history, and through the provision of information necessary to maximize visitor enjoyment.

### 6.2 Strategic Direction For All Commercial Areas in Jasper

Commercial activities will provide services and accommodation to visitors or serve the needs of residents.

### 6.3 Key Actions for all Commercial Areas in Jasper

- Commercial development in all land use districts will be evaluated in accordance with the *Growth Management Strategy*.
  - The *Town of Jasper Zoning Regulations* and the *Architectural Motif Guidelines for the Town of Jasper* will be amended to conform to the direction of this plan.
  - All projects will employ environmental stewardship practices. Strategies for water conservation, solid and liquid waste management, energy efficiency and recycling must be submitted as part of a development permit application.
  - Occupancy permits will be introduced as part of the development review process. A building may not be occupied until an occupancy permit has been issued. It will be based on a predetermined state of completion and the fulfilment of development requirements, including staff housing.
- New development and redevelopment that adds commercial floor space must also add to the housing supply. The staff accommodation policy will be amended and included in the zoning regulations. Where SAU requirements have been previously met and documented by Parks Canada, credit may be given. Staff accommodation can only be used for its intended purpose and is not to be made available for visitor accommodation.
  - Parking requirements contained in the zoning regulations will be reviewed and amended. Where public parking is required, these stalls must be easily accessible to the public.
  - New development adjacent to heritage buildings will conform with the *Built Heritage Resource Conservation Plan*.
  - The *Town of Jasper Zoning Regulations* will also be updated to include:
    - minimum standards for residential development in the C1 and C2 districts relating to habitable room sizes, access and entry, private amenity spaces, cooking facilities and parking;
    - building envelope, landscaping, street context, building materials and design element requirements for all development (except heritage designated buildings); and,
    - definitions and terminology consistent with current planning standards.

## 6.4 Central Business District (C1)

### Strategic Direction

The Central Business District will continue to function as the community's primary retail, service and visitor information area.

The second-floor level of commercial buildings will provide an opportunity for the creation of new housing for eligible residents. Views from the Central Business District will be maintained by a nine metre building height limit and second floor setbacks.

### Key Actions

- All new business activities within this district will comply with the appropriate use guidelines. Licensed businesses operating at the time of plan approval may continue within the terms of existing licences. Operating terms and conditions will be updated when opportunities permit.
- Visitor accommodation will be allowed in the C1 district as a discretionary use after an assessment based on the principles identified in the *Growth Management Strategy*.
- No new land will be zoned for commercial uses.

The C1 District of the *Town of Jasper Zoning Regulations* will be amended to:

- allow a maximum height limit of nine metres;
- permit commercial uses only on the ground floor of new buildings;
- permit eligible resident accommodation only on the second floor;

- allow below-grade space to be used for storage, required parking or designated resident-oriented services only. A list of permitted resident services will be developed in consultation with locally elected officials, as part of the review of the zoning regulations. Buildings that already have commercial space in basements and on upper floors may continue to use the area; and,
- recognize that non-conforming uses and buildings will result from these zoning changes. Redevelopment of these spaces will be subject to the direction provided in the *Growth Management Strategy*.

The following parcels of land will be rezoned from C1 to non-commercial zones to reflect their current and future uses:

<i>Description</i>	<i>Legal Description</i>	<i>Future Designation</i>
Centennial Parking Lot	Block 3 Lots 12 to 15	Institutional
Residence adjacent to Telus Building	Block 10 Lot 1	R3
Telus Building	Block 10 Lots 21 & 22	Institutional
The Jackman House	Block 5 Lots 5 & 6	Institutional
The Royal Canadian Legion	Block B Lot 1	Institutional
The Robson House	Block 5 Lot 4	Institutional

The following illustrations demonstrate possible future infill and commercial redevelopment that could occur on selected sites in Jasper.

The images illustrate several ways that new development can respect Jasper's architectural heritage: by supporting a proper scale and context for historic buildings; by using log, stone and stucco as building materials; by utilizing pitched roof forms, gables and shed dormers; and by designing windows with smaller panes.

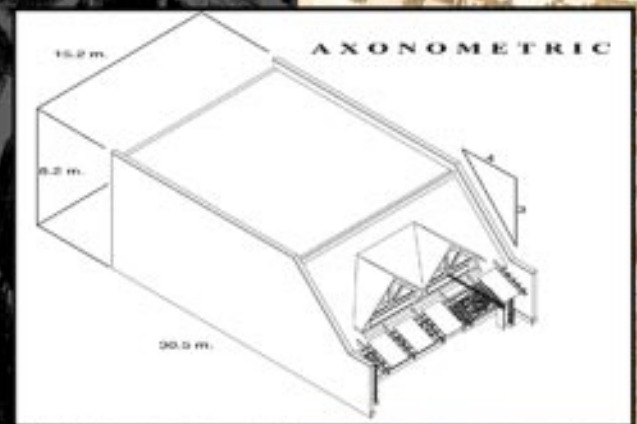
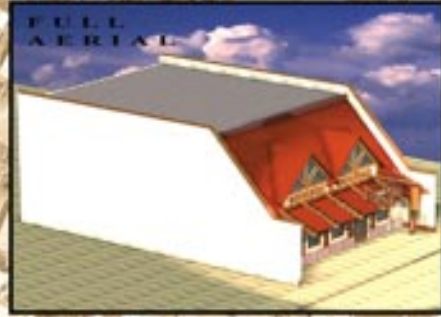
# COMMERCIAL MODEL

## COMMERCIAL DEVELOPMENT

### Commercial Model

C1  
Potential Commercial  
Development with  
Residential Units on Upper  
Level

These illustrations depict  
what could be designed for a  
C1 designated site in the  
town centre. In this particular  
design, the housing on the  
second floor is accessed via  
a separate entry way from  
the street front.



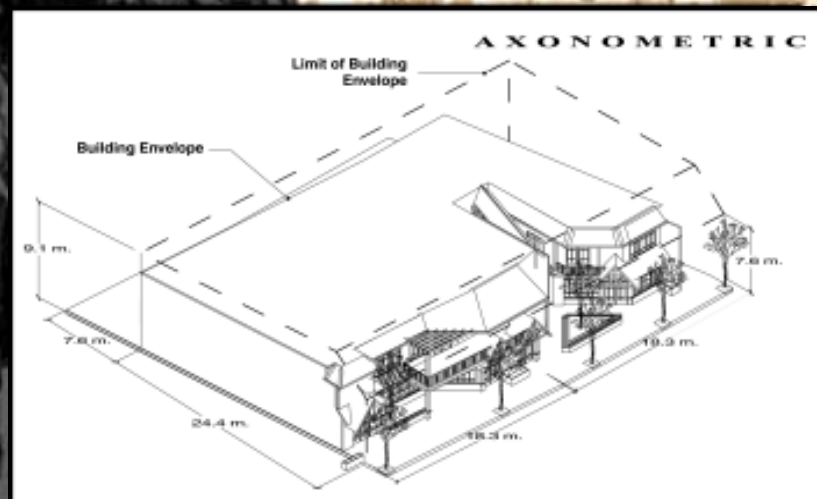
# VACANT LOT ON PATRICIA POTENTIAL COMMERCIAL DEVELOPMENT

Vacant Lot on Patricia  
C1  
Potential Commercial  
Development  
with Residential Units on  
Upper Level

This project is a new  
construction. The design  
of this commercial  
building continues the  
vocabulary of the existing  
streetscape. It includes  
nine (9) residential units of  
approximately 84 sq. m.  
each that are situated on  
the second level.

RUO 1.12-13

Potential Building  
Footprint: 630.3 sq. m.



# MALIGNE TOURS BUILDING POTENTIAL EXPANSION

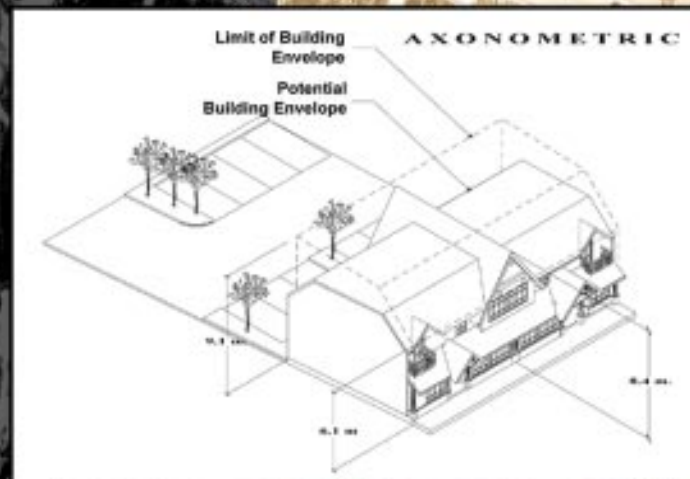
## Maligne Tour Building

### C1 Potential Expansion

The Maligne Building project redevelops the existing facade with new material application and architectural motif. An addition to the south of the building utilizes valuable commercial space and adds to the continuity of the streetscape.

### B9 L22

Existing Building  
Footprint: 146.3 sq. m.  
Potential Building  
Footprint: 182.3 sq. m.  
Site Area: 464.5 sq. m.



# MALOWNEY'S COMPLEX POTENTIAL EXPANSION

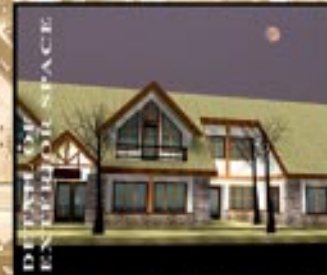
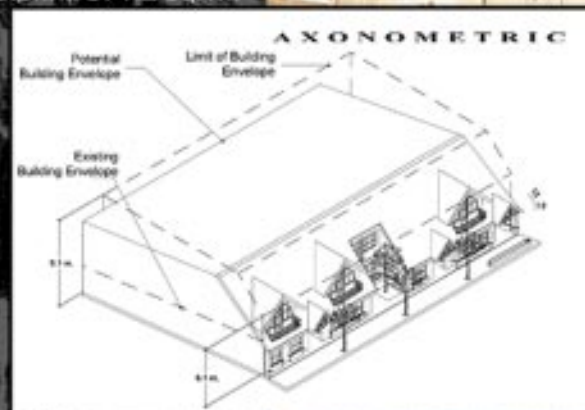
## Malowney's Complex

C1  
Potential Commercial  
Development with  
Residential Units on Upper  
Level

The Malowney's Complex project is a potential redevelopment of existing commercial buildings to reflect the new architectural vocabulary envisioned for this area. This project reorganises the front facade and adds six (6) residential units of approximately 74.0 sq. m. to the second level.

B10 L17-18

Existing Building  
Footprint: 585.6 sq. m.  
Potential Building  
Footprint: 571.2 sq. m.



### 6.5 Commercial Accommodation District (C2)

#### Strategic Direction

Visitor accommodation is the primary use in this district.

No new land for commercial accommodation will be released. New development and redevelopment will be sensitively integrated into the existing neighbourhood and will be designed to meet the required architectural standards. Staff accommodation will be required, preferably on site, as a condition of commercial expansion.

#### Key Actions

The C2 District of the *Town of Jasper Zoning Regulations* will be amended to:

- allow a maximum height of 10.6 meters;
- establish standards for staff accommodation; and,
- confirm other facilities developed within hotels and motels will be ancillary to the primary use.

The following properties will be rezoned from C2:

<i>Parcel</i>	<i>New Designation</i>
Parcel CH	Community Reserve
Parcel CD (Esso Service Station)	C4 (Automotive Services)

### 6.6 Commercial Accommodation District (C3) - Existing Hotels in the Central Business District

#### Strategic Direction

A new commercial district, C3, will be included in the zoning regulations to recognize the four non-conforming hotels in the Central Business District. This will allow these enterprises to rebuild or redevelop to their existing floor area as of the date of this plan.

#### Key Actions

The major features of this new district:

- permitted ancillary services include staff housing, gift shops, eating and drinking establishments and meeting rooms;
- no new interior malls or retail stores with separate street access;
- in accordance with the *Architectural Motif Guidelines*, redevelopment guidelines will be prepared where appropriate;
- corner lot developments will “turn the corner” with a continuous finished design;
- onsite parking and loading will be consistent with existing conditions as of the date of this plan. Increases in commercial activity or intensity of use will require additional parking/loading facilities according to current standards; and,
- allowable floor space will be site-specific and no greater than that existing as of the date of this plan.

### 6.7 Commercial District (C4) – Gas Stations/Automobile Service Stations

#### Strategic Direction

To preserve automotive services in the community a new commercial district, C4, will be included in the zoning regulations for properties currently providing services such as fuel, repairs and parts essential to the operation of motor vehicles.

#### Key Actions

New zoning regulations will be developed for the C4 District and will include:

- primary use for gas or automobile service stations;and
- ancillary uses permitted in the C1 district.

These existing automobile service station sites will be zoned C4:

<i>Name</i>	<i>Current Zoning</i>	<i>Legal Description</i>
Alpine Petro-Canada	C1	Parcel CL
Mountain Esso	C2	Parcel CD
Petro-Canada	C1	Block 3 Lots 18, 19 & 20
Shell	C1	Block 9 Lots 16, 17 & 18
Avalanche Esso	C1	Block 11 Lots 8, 9, BY & BZ



## 6.8 Hostel District (C5)

### Strategic Direction

A variety of types of visitor accommodation will be available in the community.

### Key Actions

- Land adjacent to the Jasper Lumber Yard has been identified for a new non-profit hostel to replace the Whistler's hostel. No other use will be permitted on this site.
- Alternate sites for the location of a hostel may be considered through a community consultation process.
- As a replacement facility and a nonprofit operation, the hostel's floor space will be considered outside of the commercial capacity limit. On-site staff accommodation will be required.

## 6.9 Storage and Services District (S Block)

The Storage and Services District is known locally as S Block. Businesses located here are primarily large users of land providing goods and services such as repairs, construction, storage and transportation.

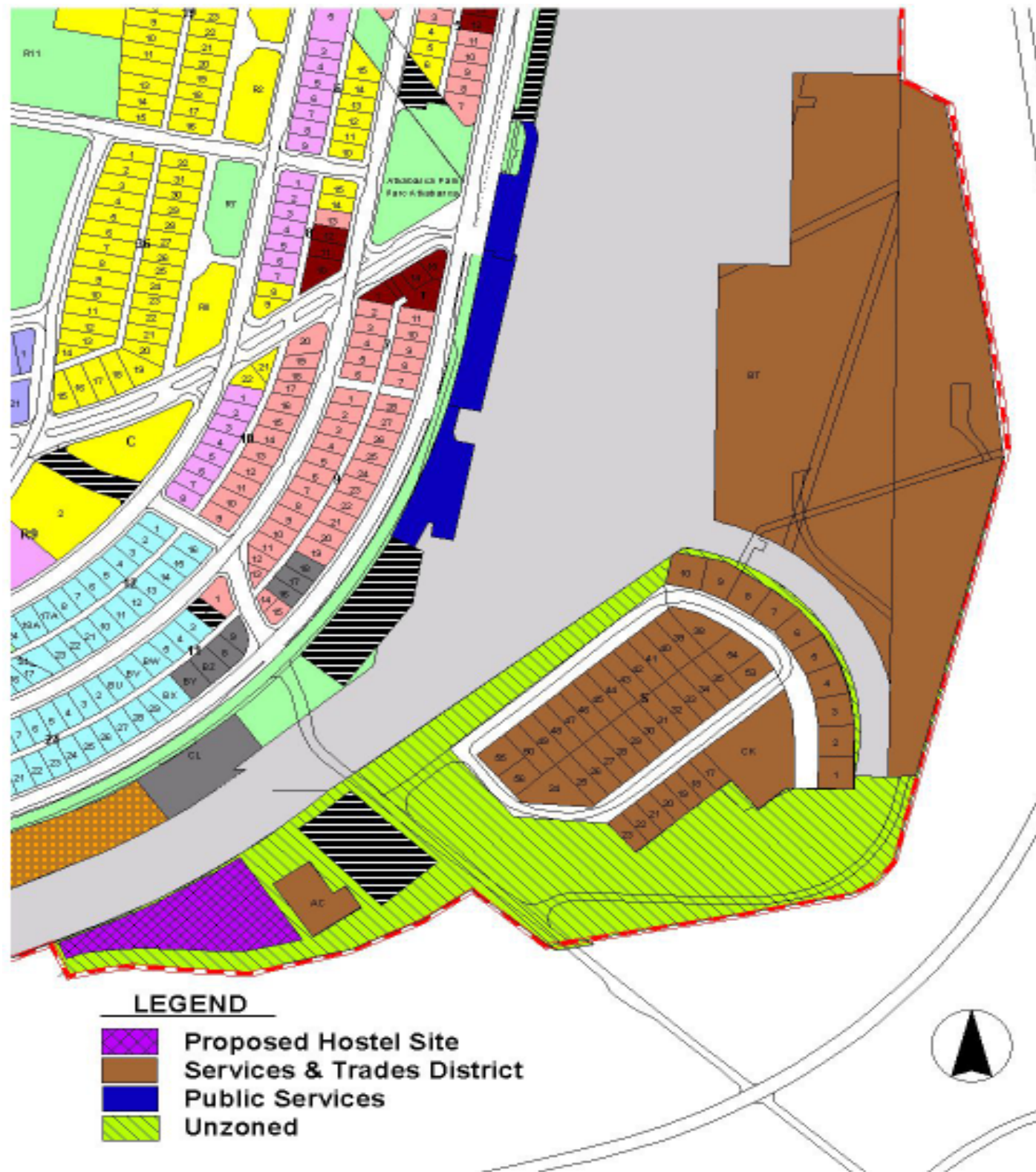
Many of the sites and roads in S Block are in need of improvement.

### Strategic Direction

S Block will continue to function as Jasper's storage and services area. Its physical size will be limited to the current boundaries. The visual appearance of S Block will be improved in keeping with its national park setting.

## Key Actions

- S Block will not be expanded.
- Parks Canada will initiate discussions with CN to bring the land use and development control of the short term industrial leases located in "Walkerville" under the jurisdiction of Jasper National Park of Canada. Those businesses better suited in S Block will be encouraged to relocate.
- Enterprises based in S Block will be subject to the appropriate use guidelines outlined in the Growth Management Strategy. The primary markets for these enterprises are residents, local businesses and park visitors. Operations providing a service, creating a value-added product or selling products for use primarily outside the park will not be permitted.
- Visitor and staff accommodation will not be permitted in S Block.
- All development permit applications will consider fencing and landscaping to minimize wildlife/human conflict.
- Improved architectural motif guidelines, landscape and road maintenance standards will be developed for S Block.



### 6.10 Jasper Railway Station and Lands

The Jasper Railway Station (approximately 1.2 hectares) is a significant property providing key linkages to the Park's railway, settlement and tourism history. The building forms part of a hub of heritage structures in the Central Business District.

#### Key Actions

- Parks Canada's administrative offices will occupy the Jasper Railway Station. Transportation, office space, community needs, public parking and ancillary activities will be acceptable uses for this facility.
- The Jasper Railway Station will continue to be a significant heritage building and cultural resource for the community. Uses will reflect the historic importance of the building within the community.
- The station and adjacent lands will be zoned Public Services.

## 7 A PLACE FOR COMMUNITY

### 7.1 Background

Jasper residents enjoy many recreational benefits in the park. They take an active interest in their community and are involved in local issues. At the same time, the community in which they reside is an integral part of a prestigious national park and world heritage site.



The residential areas of Jasper contribute greatly to the community's character. The modestly-scaled historic homes are representative of Jasper's early architectural history. In 1997, there were 1889 housing units in the community. This number includes: 601 single family homes, 186 duplex units, 221 town homes, 89 mobile homes, 104 legal secondary suites, 473 apartments, and 215 staff accommodation units.

While the quality of life in Jasper is high, a key concern continues to be the availability of affordable housing. Other housing issues include:

- An estimated 150-unit housing shortfall in the community;
- Neighborhood impacts associated with unapproved secondary suites and private home accommodation facilities.

### 7.2 Strategic Direction

The provision of affordable housing, for both long and short-term residents, will be a priority for the community. Strategies to address the impacts related to commercial activities in residential neighborhoods will be developed.

### 7.3 Key Actions: General

- A study to update the 1991 *Jasper Housing Study* will be completed by June 2002.
- A strategy for the development of affordable housing will be prepared. This will include the establishment of a housing authority to develop and operate housing in the community.
- Lower cost housing, such as housing cooperatives, will be encouraged.
- To promote efficient residential land use, future residential land releases will require a minimum of 37 units per hectare (15 units per acre). This is in the range of the housing cooperatives developed in Jasper during the mid-1990s.
- Parks Canada, in consultation with locally elected council, may release land for affordable residential development to the Housing Authority or other non-profit housing groups or associations with proposals that meet community needs.
- Parks Canada will work with other organizations to ensure an adequate supply of housing in the community.
- Special needs housing, such as seniors or handicapped accessible housing, will be allowed in all residential and institutionally zoned areas of the community.
- The *Architectural Motif Guidelines for the Town of Jasper* and the *Town of Jasper Zoning Regulations* will be revised to make them consistent with this plan.

### 7.4 Key Actions: Updating the *Town of Jasper Zoning Regulations*

- Changes to the zoning regulations will incorporate recent amendments to the *Architectural Motif Guidelines*.
- Updated definitions consistent with current planning and architectural practices will be included in the regulations to assist in the management of residential development.
- Regulations for private home accommodation and home-based businesses will be reviewed (see Sections 7.10 and 7.11).
- A schedule of penalties for infractions of community zoning regulations will be created to support enforcement efforts.
- A process for the local consideration of rezoning to achieve increased residential densities will be developed. This process will include planning criteria and neighbourhood consultation.



### 7.5 Single-Dwelling Residential District (R1) & Two Dwelling Residential District (R2)

#### Key Actions

- Where lane access is available, garages and parking will be located in the rear yard.

The following properties will be rezoned:

<i>Rezoned to R2</i>	
<i>Address</i>	<i>Existing Zoning</i>
Block 21, Lots 1-5 (801 to 809 Maligne)	R1
Block 25, Lots 2-7, 18 and 19 (725 to 733 Geikie)	R1



### 7.6 Multi-Dwelling Residential District (R3)

#### Key Actions

- The lot width requirements for R3 development will be amended to include provisions for developing on 15.25 metre (50-foot) wide lots.
- Parks Canada will evaluate options for redeveloping its Turret Street properties.

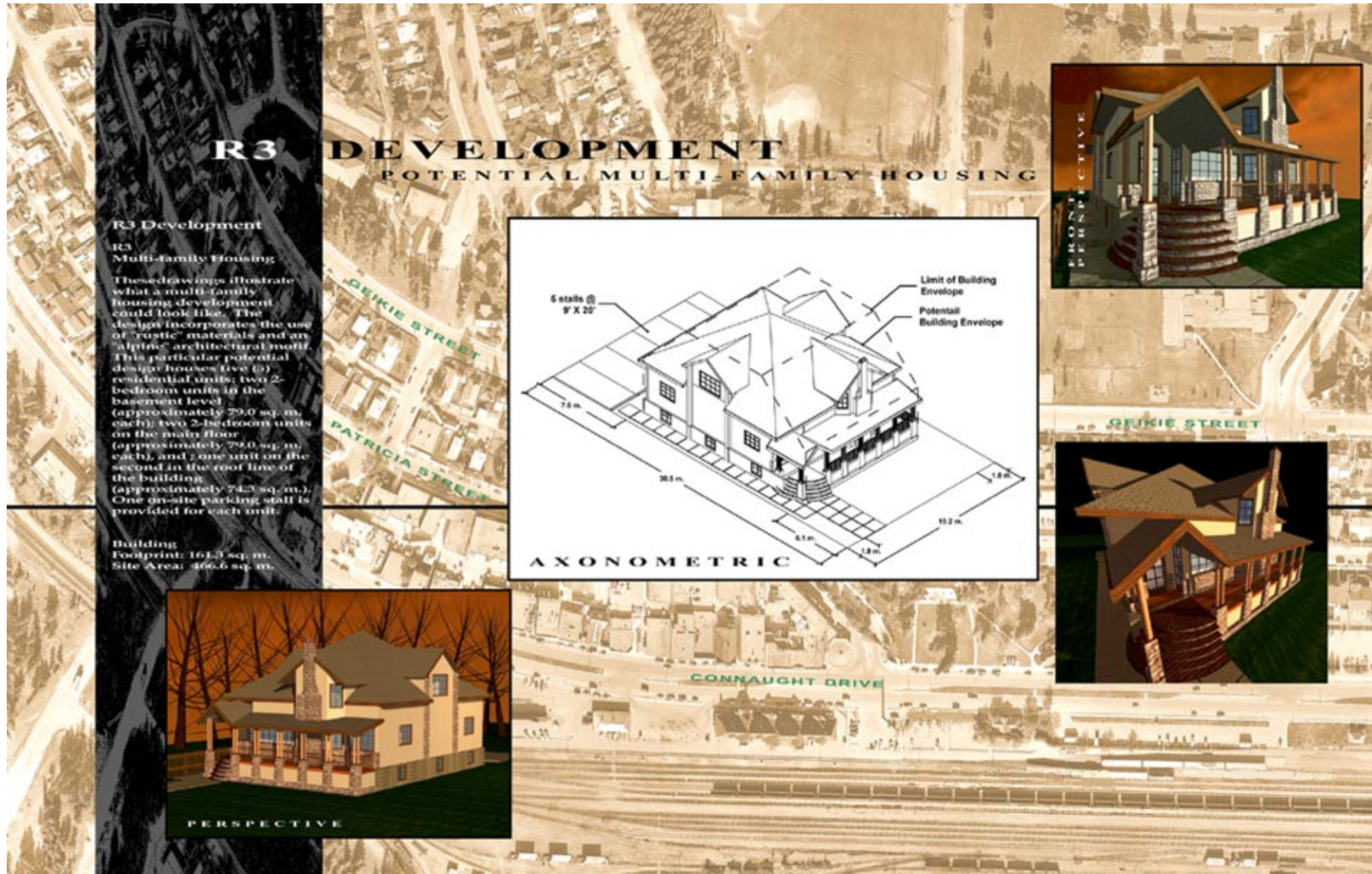
The following properties will be rezoned:

<i>Rezoned to R3</i>	
<i>Address</i>	<i>Existing Zoning</i>
Block 10 Lots 1-8 (603 to 617 Geikie)	R2
Parcel FK	unzoned
Block 6 Lot 9 (423 Geikie)	R2
Block 31, Lots 12-22 (902 to 920 Patricia, 201 Pine)	R2

#### Residential Infill Possibilities



**R-3 District:** The following illustration shows how multi-family housing could be developed on a single 15.25 m (50 ft) lot.



## 7.7 Infill Residential Development

### Key Actions

- The following are sites where multi-dwelling infill development could occur to create 274 to 354 housing units, depending upon design and site configurations:

<i>Infill Sites Controlled by Parks Canada</i>	<i>Possible Units</i>
Parcel FK behind the Bear Hill Lodge	45-70 mixed units
Parcel CU on Patricia Street near Ash tree	6- 10 apartments
Redevelopment of the Parks Canada properties on Turret street	From 10 to 43 units (33 units net)
Redevelopment of the Parks Canada properties Maligne Avenue	From 4 to 10 units (6 units net)
<b>Total</b>	<b>90- 119 units</b>

The following land areas will be surveyed and zoned R3:

- the area bounded on the west by Cabin Creek, to the east and north by the trailer court, and to the south by Patricia Street.
- The area to the west of Parcel CU.
- The area between Snapes Hill and Willow Avenue to a depth of not more than 30 metres, assuming impacts to archeological resources are mitigated.
- The area to the north-west of Cabin Creek Drive, to a depth of approximately 30 metres.

<i>Privately Controlled Infill Sites</i>	<i>Possible Units</i>
Block 13 Lots 24 and 25	8-10 apartments
Second-floor residential development in the C1 District	70-80 apartments
Redevelopment of the R3 zoned lots on Geikie Street	30-35 apartments
Patrcia Place infill	6-10 town homes
Cavell Court infill	25-30 apartments
Infill development of single family and two dwelling homes by relocating existing homes on double lots to single lots	10-20 new houses
Redevelopment of lots zoned R2	20-30 units
New secondary suites in the R2 and R3 areas	15-20 apartments
<b>Total</b>	<b>184-235 units</b>



**Infill concepts**



MALIGNE AVE. DEVELOPMENT  
EXISTING CONDITIONS - 4 HOUSING UNITS  
JASPER ALBERTA



MALIGNE AVE. REDEVELOPMENT  
POTENTIAL PLAN - 5 DUPLEX UNITS  
JASPER ALBERTA

**Infill concepts**



PARCEL FK DEVELOPMENT  
EXISTING CONDITIONS - VACANT LAND  
JASPER, ALBERTA



PARCEL FK REDEVELOPMENT  
POTENTIAL PLAN - 32 TOWNHOUSE UNITS , 24 APARTMENT UNITS  
JASPER, ALBERTA



**Infill concepts**



TURRET STREET DEVELOPMENT  
EXISTING CONDITIONS - 3 DUPLEX UNITS, 1 HOUSE  
JASPER ALBERTA



TURRET STREET REDEVELOPMENT  
POTENTIAL PLAN - 13 TOWNHOUSE UNITS, 36 APARTMENT UNITS  
JASPER ALBERTA

## 7.8 Community and Residential Reserve Lands

### Key Actions

- There are two reserve land designations, Community (CR) and Residential (RR) Reserve. Residential reserve lands will only be released if identified as required in an updated housing study and once all other avenues for housing have been pursued. Community reserve lands may not be released for any commercial purposes, and, if intended for housing, will have to meet the same criteria as residential reserve lands.
- Community Reserve Lands will not be released for any purpose until completion of an updated housing study. Furthermore, any use of Community Reserve Lands other than housing is subject to a community review.

Rezone to CR/RR	
Description	Existing Zoning
Parcel CH and the triangular shaped parcel to the north rezoned to CR	Parcel CH- C2 Triangle- unzoned
The area south of Connaught Drive and west of Parcel CL rezoned to RR	Unzoned

## 7.9 Mobile Home District (R4)

The Mobile Home District has been a source of affordable housing for the community for two decades. Some housing units are nearing the end of their serviceable life and are due for replacement. In some areas utilities are located under the mobile homes and these need to be relocated to the street right-of-way.

### Strategic Direction

To achieve the desired community character for the mobile home district, an area redevelopment plan will be completed.

### Key Actions

- An area redevelopment plan will be undertaken for the Jasper Mobile Home District in consultation with residents. The redevelopment plan will consider infrastructure reservicing, unit densities, architectural controls, alternative housing forms, circulation and parking, landscaping, open space and a transition strategy.
- The utility lines will be relocated to the street right-of-way.

## 7.10 Home-Based Businesses

Commercial limits to growth will increase pressure for expansion of commercial activities in residential areas.



### Strategic Direction

To protect the supply of housing and neighbourhood quality of life, commercial activity in residential neighbourhoods will be controlled.

### Key Actions

- Home-based businesses will be subject to appropriate use guidelines.
- The list of acceptable home occupations in *The Town of Jasper Zoning Regulations* will be reviewed to identify appropriate commercial activities. Those commercial activities that create noise, dust, odours, traffic or other disruptions uncharacteristic of the surrounding neighbourhood will not be licensed.
- Home-based businesses require an annual business license. New home-based business license applicants will be required to inform all neighbours within a 50-metre radius of the proposed business location. Notification of neighbors will not be required for license renewals.
- Commercial signage in residential areas will not be permitted.
- Commercial operators with business premises elsewhere will not be allowed to visibly store materials or vehicles in residential areas.
- Home-based businesses focusing exclusively on value-added production or services to be sold or delivered elsewhere will not be licenced.
- Floor space for home-based businesses will be restricted to a percentage of the total residence. This amount will be identified during the review of the zoning regulations.
- Parking requirements for home-based businesses will be established in regulation.

### 7.11 Private Home Accommodation

Private home accommodation has been identified as one of the greatest challenges to neighbourhood character. While a legitimate form of lower-cost accommodation, and a source of income for eligible residents, the presence of an increasing number of private home accommodation suites is eroding the quality of life in the community. Concerns related to increased noise, traffic and parking demands, and the loss of rental units for residents have been frequently expressed.

There are about 150 licensed home accommodations in Jasper, representing about 290 rooms. Approximately 150 additional unlicensed rooms exist in the community. A lengthy waiting list for residents wishing to operate private home accommodation also exists, but this is limited to 25 additional bedrooms per year until a capacity of 325 is reached. Until reviewed by the community, the licensing guidelines of Parks Canada and the policies and standards of the Jasper Home Accommodation Association are reaffirmed by this plan.

#### Key Actions

- A community-based process will review home accommodation policies and make recommendations for improved management. The existing cap of 325 private home accommodation bedrooms will continue until this process is completed.
- Once completed, the revised standards for private home accommodation will be incorporated into the *Town of Jasper Zoning Regulations*.



### 7.12 Institutional Services

Jasper has a wide range of institutional services for a small community.

#### Key Actions

- To protect open space, a new Institutional District will be created for institutional and community service buildings and facilities. Permitted uses and development requirements in the Institutional District will be defined in the *Town of Jasper Zoning Regulations*.
- Construction of a new firehall will soon proceed. If the south end of Robson Park is not developed as the site for a firehall, it will revert to an Open Space designation.
- Buildings such as the Jackman House and the nurse's residence may continue to be used for housing. The new housing study will review institutional lands to facilitate the development of special needs housing.
- Parks Canada will continue to work with other levels of government and organizations to ensure delivery of appropriate social services in the community.

The following properties will be rezoned:

<i>Rezoned to Institutional</i>
Parcel R8 (South end of Robson Park)
Parcel R9 Lot 2 (United Church)
Block 36 (Hospital, etc.), including existing staff housing
Block B Lot 1 (Royal Canadian Legion)
Parcel R10 (Aquatic Centre)
Block 19 R1 and R2 (Schools)
Block 10 Lots 20 and 21 (Telus Building)
Block A Lots 1, 2, 3, 3a, 4a and 6 (Catholic Church, Activity Centre parking, Museum, RCMP)
Block 3 Lots 12-15 (Centennial Parking Lot)
Block 6 Lots 10-15 (Old Fire Hall Site and Parking)
Block 5 Lots 5 and 6 (The Jackman House)
Block 5 Lot 4 (The Robson House)
Parcel C (Anglican Church)
Parcel CA (old AMA site)
Parcel CW (Activity Centre)



## 8 A PLACE FOR HISTORICAL AND CULTURAL SIGNIFICANCE

### 8.1 Background

The history of a community is reflected in its cultural heritage. The early buildings of Jasper help demonstrate the distinctive history of a national park community. Jasper's buildings have been influenced by the community's role as a railroad centre, as a national park administration centre and as an international tourist destination. Heritage buildings constructed as early as 1913 still stand, and many exhibit the special design elements and detailing that were originally encouraged.

Development pressures have put heritage buildings at risk. There is a need to conserve heritage buildings in order to retain a sense of time and place within the community, and to help retain and reinforce community character.



Jasper has an excellent collection of heritage buildings. The *Jasper Built Heritage Resource Description and Analysis* (1992) lists them all, including two Classified Federal Heritage Buildings, the Canadian National Station and the Information Centre, which is also a national historic site. The Superintendent's house and garage, the Library, the Jackman Residence and garage, the Fire Hall, and the Friends of Jasper National Park building are all recognized Federal Heritage Buildings. The Church of St. Mary and St. George has been designated by the Province of Alberta as a Provincial Historic Resource. In addition, the community has

identified over 100 buildings as having local heritage value, many of which are located in Old Town Jasper, an area bounded by Bonhomme Street, Pyramid Avenue and Geikie Street. All of these resources, individually and collectively, are important elements in defining the community's character.

Numerous initiatives have been undertaken to conserve Jasper's built heritage. Completed in 1992, *The Jasper Built Heritage Resource Description and Analysis* (BHRDA) inventories and evaluates heritage buildings within the community. Following this, a Built Heritage Resource Advisory Committee was organized and the *Town of Jasper Built Heritage Resource Conservation Plan* (BHRCP) was completed in 1994. Preliminary work has been completed on preparing an historic district plan for Old Town Jasper. A draft *Built Heritage Resource Conservation Incentive Policy* has been developed, and three commercial heritage buildings have been conserved using this policy.

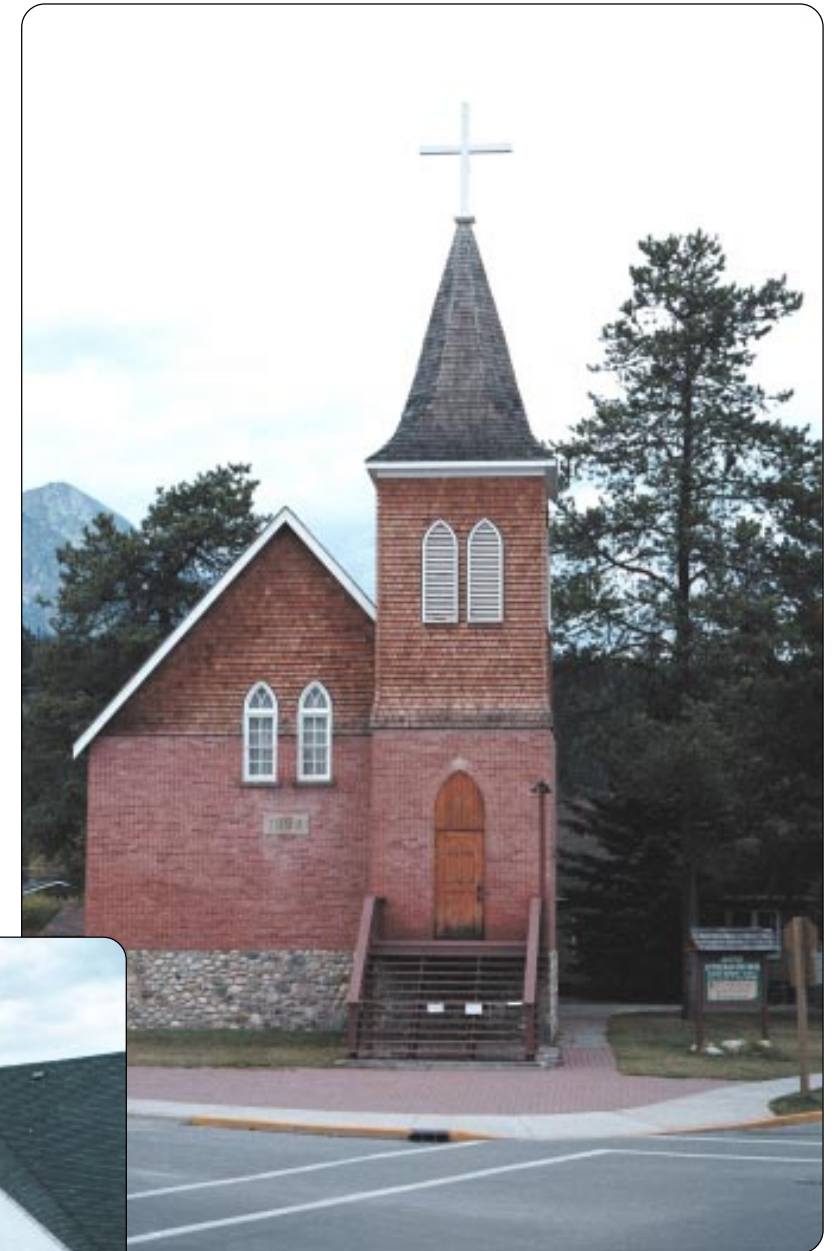
Jasper also has a number of important archaeological resources. For example, Snapes Hill, which is where the community was first established, contains twenty features and building footprints left from the original railroad survey camp. The site holds tremendous potential for a variety of interpretation and learning programs, and is therefore in need of protection.

## 8.2 Strategic Direction

To continue to recognize the contribution that Jasper's cultural resources make in defining the community's character and unique sense of place.

### Key Actions

- The BHRDA will be maintained and updated on a regular basis. All development applications that affect buildings listed in the BHRDA will be reviewed within the context of the BHRCP.
- An Archeological Resource Description and Analysis (ARDA) will be prepared which lists and evaluates archaeological resources within the community.
- An Archaeological Resource Conservation Plan (ARCP) will be prepared, implemented and updated on a regular basis, and a conservation plan prepared for Snapes Hill.
- An historic district plan for Old Town Jasper, bounded by Pyramid Avenue, Geikie and Bonhomme Street, will be undertaken in consultation with the community and interested Canadians. Based upon this, a new R2H zone within the *Town of Jasper Zoning Regulations* will be created to protect the area's character.
- National Park Regulations will be reviewed and amended to remove disincentives to built heritage resource conservation.
- Once completed, the *Built Heritage Resource Conservation Incentive Policy* will assist owners of BHRDA listed resources in the long-term conservation and maintenance of their heritage buildings.
- Federally owned built heritage resources will be conserved and maintained according to the Federal Heritage Buildings Policy, the Federal Heritage Buildings Office Code of Practice and the Parks Canada Cultural Resource Management Policy. All federally owned buildings over 40 years of age will be recommended to the Federal Heritage Building Office for review.
- Public awareness, understanding and appreciation of built heritage resources will be promoted through the development and installation of interpretive plaques and signs.



# 9 TRANSPORTATION AND CIRCULATION

## 9.1 Background

Jasper is located near the intersection of the Yellowhead Highway (Hwy 16) and the Icefields Parkway (Hwy 93). However, the transition into Jasper from these routes fails to create a clear visual statement of arrival to a special park community, nor does it provide an opportunity to orient visitors to their destination.

Within Jasper, the transportation system must handle not only residents but thousands of visitors per day during the busy summer months. This additional traffic volume results in the following community issues:

- vehicle congestion on Connaught Drive and Patricia Street;
- large vehicles parked in the downtown, resulting in additional congestion, greater parking consumption and unsightliness;
- spill-over parking from commercial areas into residential areas;
- conflicts in residential areas generated by additional vehicles drawn to private home accommodation units and overcrowded staff accommodation;
- overnight “camping” on residential streets;
- employee parking in the downtown area; and,
- unsightly rows of vehicles in poorly screened parking lots.



## 9.2 The Park Road System

### Strategic Direction

The main entrances to town will continue to be from the north and south. The sense of arrival will be enhanced aesthetically and functionally to better welcome visitors.

The 93A entrance will continue to function as a secondary entrance to access the Parks Canada compound, S Block, CN Lands and a new recreational vehicle parking lot. This will minimize the use of the community street system by larger vehicles that contribute to traffic congestion.

Linkages such as public transportation and bicycle paths between the community and surrounding facilities will be pursued.

### Key Actions

- Community entrances will be enhanced and upgraded with appropriate signage, landscaping, information pull-offs and road alignments.
- To ensure safety, the 93A entrance will be upgraded as use increases. These upgrades may include electric traffic controls, street lights, turn lanes, improved view lines and signage.
- An integrated transportation and parking study will be undertaken to consider linkages between the community and other areas of the park.

## 9.3 The Community Road System

### Strategic Direction

Jasper will have an efficient road system allowing residents and visitors to travel easily throughout the community. Visitor traffic and parking will be directed to the commercial areas of the community. Truck and bus routes will be designated to minimize intrusions into residential areas.

### Key Actions

- Connaught Drive will continue to be the main road through the community and the main truck and bus route.
- Tour buses will be directed to use Connaught Drive as their primary route through the community while their use of residential streets will be restricted to those leading directly to visitor accommodation, such as Juniper Avenue and Bonhomme Street. Overnight parking of tour buses on residential streets will not be allowed.
- A delivery strategy will review how goods are distributed to businesses.
- Signs will direct vehicles into residential neighbourhoods in a manner that minimizes intrusion.
- Connaught Drive, Hazel Avenue, Geikie Street and Cedar Avenue will be designated as the primary downtown perimeter route.
- Intersections such as Connaught and Hazel and Connaught and Miette will be evaluated for electric traffic controls.
- The Sleepy Hollow Road will be maintained as an alternate access to areas south and east of Connaught Drive.

## 9.4 Parking

### Strategic Direction

Adequate and convenient parking will be provided for residents and visitors in all land use districts. A sustainable public transit system will be encouraged to provide access to and movement within the community. This will reduce the amount of traffic and parking congestion within the downtown.

All land uses generating parking requirements will provide off-street parking. Conflicts in residential areas will be reduced by increasing the supply of parking.

Parking management strategies will be re-examined to ensure that an adequate number of spaces are available, spaces are used efficiently, and behavior patterns that minimize congestion and resident/visitor parking conflicts are encouraged. Some parking lots within the community will be landscaped and screened to improve their appearance.

### Key Actions

- Parking requirements in the *Town of Jasper Zoning Regulations* will be amended to reflect current needs and trends regarding the size, number and layout of stalls.
- No payments in lieu of parking will be accepted until a parking authority is established. All new development and redevelopment will be required to provide required parking onsite and make it accessible to users.
- A variety of parking opportunities will be provided in the visitor service areas through a combination of onsite parking requirements, on-street parking and public lots.
- New parking areas will include landscaping. All existing public parking areas, particularly those east of Connaught Drive, will be reviewed to improve efficiency.
- The existing parking lot on the east side of Connaught Drive between the Friends of Jasper building and Cedar Avenue will be redeveloped to double capacity. If future demand warrants, this lot has the potential to be further expanded into a two-level parking structure while maintaining a similar street level profile.
- All new residential units will be required to have onsite parking in accordance with the revised zoning regulations.
- The former right of way of Hazel Avenue by the McCready Centre will be developed as parking.
- Using signage and maps, visitors will be encouraged to park in designated areas of the community.
- “Camping” on community streets is contrary to Park regulations and will not be allowed.
- An annual notice will be sent to all businesses in the community to remind their employees to walk, cycle, or car pool during the busy summer months, in order to minimize employee parking in the downtown area.
- Additional handicap parking spaces will be located within the downtown area.
- Overnight parking for commercial and charter buses will be directed to non-residential areas of the community, such as parking lots along Connaught Drive or in S Block.
- A new oversize vehicle parking lot will be built immediately across the railroad tracks near the lumberyard.



## 9.5 Pedestrian and Cycle Systems

### Strategic Direction

Pedestrian and cycle routes will be developed to provide access to community facilities and park trails, and to reduce vehicular congestion. Walking and cycling within the community will be promoted.

The pedestrian environment within the Central Business District will continue to be improved to allow for the easy movement and gathering of people.



### Key Actions

- The pedestrian and cycle system will be integrated with open space and trailheads, where possible.
- Landscaping, signage and mapping will be used to identify the routes as they are developed.
- Improvements to the pedestrian environment in commercial and residential areas will continue to be made to highlight particular routes, to provide a more pleasant visual environment and to provide areas for gathering. Many of these improvements will be incorporated into plans for new development and redevelopment as they occur. Accessibility considerations will be incorporated into designs.
- Lanes in the downtown area will be improved and incorporated into the pedestrian system over time.
- Additional bicycle racks will be installed in appropriate locations throughout commercial areas.





# 10 IMPLEMENTATION

Many individual projects are needed to implement this plan. In some cases, community-based processes will be required to achieve a product that is meaningful, clear and effective.

The projects are grouped according to the period when they may be undertaken. Within each group, no order of priority is implied. Major projects are listed; some smaller projects are included with larger initiatives such as the review of the zoning regulations.

Some projects are of an ongoing nature; they have no set time frame and will be achieved over a period of years. Other projects, such as the hostel, are the responsibility of third parties or the private sector.

## 10.1 Implementation Schedule

### Short Term (0-2 years)

- Establish enforcement regulations and actions
- Undertake an inventory of commercial spaces and uses
- Facilitate creation of a housing authority
- Rewrite *Town of Jasper Zoning Regulations* to include:
  - appropriate sections of the *Architectural Motif Guidelines for the Town of Jasper*
  - rezonings
  - a review of Old Town Jasper
  - penalties for infractions
  - private home accommodation and home based business policies
  - a commercial allocation strategy
  - appropriate use criteria
- Review development and business licence processes and regulations
- Construct a new Sewage Treatment Plant
- Survey the community boundary
- Review *Architectural Motif Guidelines for the Town of Jasper*
- Initiate an area redevelopment plan for the Mobile Home District
- Develop and implement an Appropriate Use Strategy
- Formalize the *Built Heritage Resource Conservation Incentive Policy*

- Create a parking authority
- Develop a community based strategy for protecting against wildfire
- Complete an updated housing study

### Medium Term (3-5 years)

- Develop a communications program to improve signage and information at community entrances
- Initiate an Integrated Transportation and Parking Strategy
- Develop a recreational vehicle parking lot
- Upgrade the intersection of Connaught and 93A and improve the pedestrian rail crossing
- Develop the McCready Centre parking lot
- Redesign Connaught Drive parking lots
- Investigate a central business district delivery strategy
- Undertake an Archeological Resource Description and Analysis and an Archeological Resource Conservation Plan

### Longer Term (6-10 years)

- Redevelop Parks Canada housing on Turret and Maligne Streets
- Improve entrances to the community
- Upgrade 93A and Highway 16 intersection

### Ongoing

- Development of a Hostel
- Movement of commercial operations from Walkerville to S Block
- Infrastructure upgrades:
  - sewers, water lines, streets, sidewalks, street lights, signs
- Implement landscaping strategy:
  - renew urban forest
  - native plant information program
  - reclaim Cabin Creek riparian zone
  - replace exotic plants with native species
  - reduce fertilizer, herbicide, and pesticide use
- Elk Action Strategy
- Improve delivery of park messages in town

## 10.2 Capital Projects to be Undertaken

These projects will be undertaken in a phased process over the next fifteen years:

### Road Improvements

Cabin Creek Road  
Willow Avenue  
Pine Avenue  
Spruce Avenue  
Patricia Street from Pine to Hazel  
Tonquin & Turret Streets  
Larch Street  
Turret & Birch Streets  
Turret - Maligne to Elm  
Elm - Pyramid to Turret

### Additional Landscaping

Robson Street  
Geikie Street  
Miette Avenue  
Hazel Avenue  
Pyramid Avenue  
Pyramid Lake Road  
Colin & Aspen Crescents  
Balsam Avenue  
Patricia Circle  
Road servicing Cavell Apartments  
Connaught Drive  
S Block landscape and storm sewer

### Water mains

Larch & Turret  
Miette  
Pyramid Avenue  
Lane south of Colin  
Juniper Avenue  
Industrial Zone  
Lane North of Colin  
Lane south of Maligne  
Birch  
Hydrant Upgrades  
Lead Water Services

### Sanitary System

General structural repairs  
Gravity north  
South system  
Gravity east  
S Block

### Storm water System

Structural Repairs  
Turret/Tonquin/Birch/Maligne  
S Block  
Hydraulic upgrades  
Cabin Creek storm system  
Catch basins - Pyramid Lake Road  
Robson Hospital storm drain  
Patricia Circle storm drain  
Pine/Tonquin  
Bonhomme/Connaught Gravity Line

### Lighting

East entrance  
Patricia Circle  
S Block  
Birch/Tonquin/Turret  
Cabin Creek

## 10.3 Enforcement Strategy

An enforcement strategy is required to ensure that key actions in the plan will be implemented. The consultation process conducted as part of the planning program identified significant areas where the capacity to enhance the enforcement of community related regulations was required. In certain areas, such as Private Home Accommodation, suitable levels of enforcement will be developed through a community based review. The mechanism and schedule of penalties to enforce actions will be set out in the *Town of Jasper Zoning Regulations*.

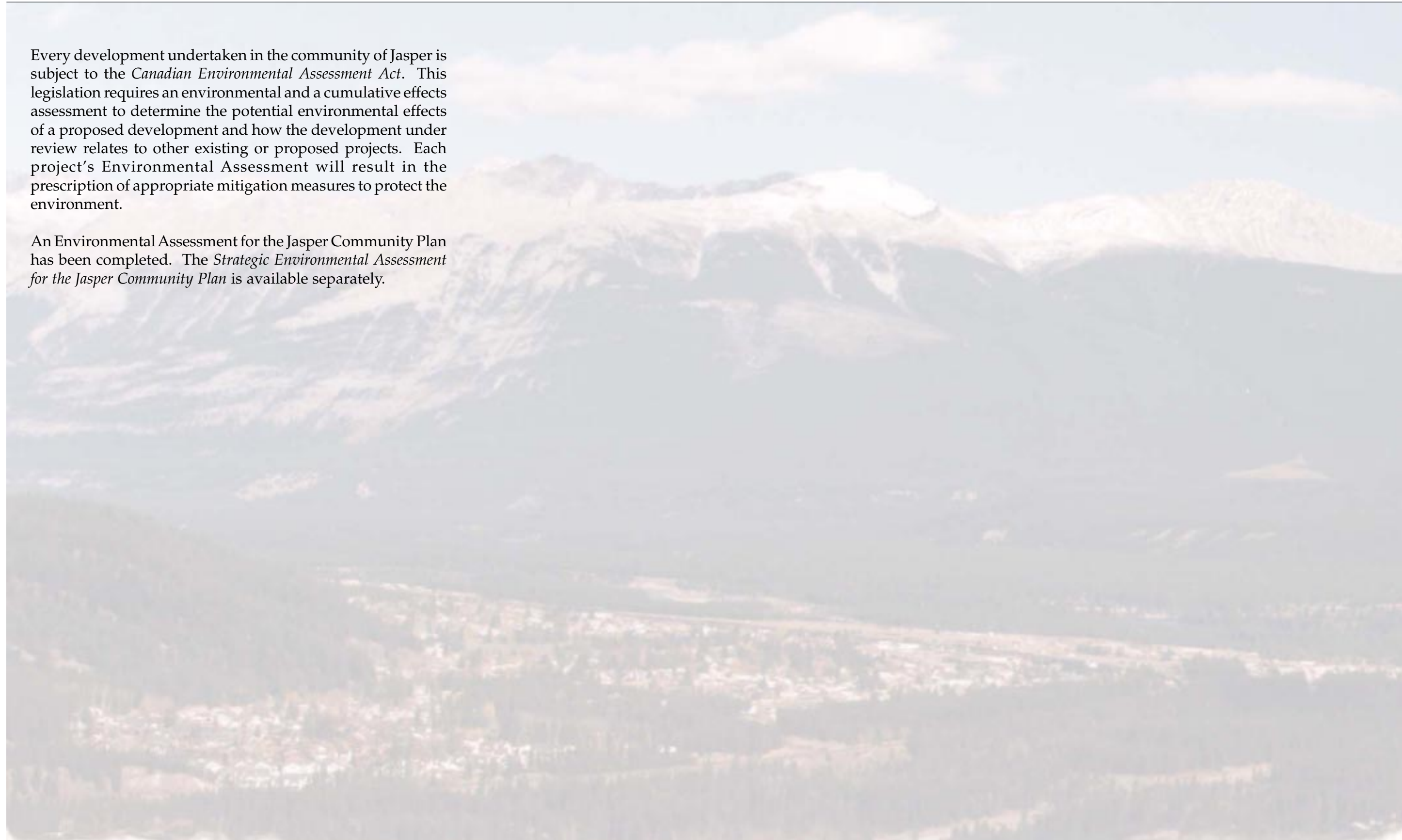
## Key Actions

- An effective, fair and consistent enforcement strategy for regulations that is supportable by law will be developed.
- Proven enforcement methods, legislation from other communities and federal legislative enforcement precedents will be examined in developing this strategy.
- Legislative amendments will create a series of penalties for infractions. Where Parks Canada is responsible, the resources necessary to ensure an effective enforcement strategy will be provided.

# 11 ENVIRONMENTAL ASSESSMENT REPORT

Every development undertaken in the community of Jasper is subject to the *Canadian Environmental Assessment Act*. This legislation requires an environmental and a cumulative effects assessment to determine the potential environmental effects of a proposed development and how the development under review relates to other existing or proposed projects. Each project's Environmental Assessment will result in the prescription of appropriate mitigation measures to protect the environment.

An Environmental Assessment for the Jasper Community Plan has been completed. The *Strategic Environmental Assessment for the Jasper Community Plan* is available separately.



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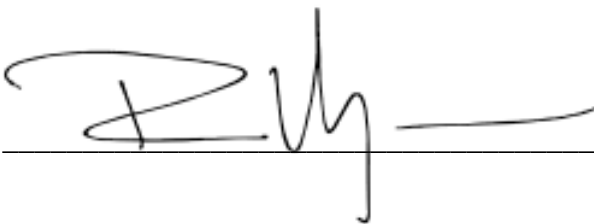
This plan has been recommended for approval by:

Tom Lee  
Chief Executive Officer, Parks Canada



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Ron Hooper  
Superintendent, Jasper National Park



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